

Notice of Meeting

Northern Area Planning Committee

Date: Thursday 14 July 2022

Time: 5.30 pm

Venue: Conference Room 1, Beech Hurst, Weyhill Road, Andover,
Hampshire, SP10 3AJ

For further information or enquiries please contact:

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Legal and Democratic Service

Test Valley Borough Council,
Beech Hurst, Weyhill Road,
Andover, Hampshire,
SP10 3AJ

www.testvalley.gov.uk

The recommendations contained in the Agenda are made by the Officer and these recommendations may or may not be accepted by the Committee.

PUBLIC PARTICIPATION SCHEME

If members of the public wish to address the meeting they should notify the Legal and Democratic Service at the Council's Beech Hurst office by noon on the working day before the meeting.

Membership of Northern Area Planning Committee

MEMBER	WARD
Councillor J Budzynski (Chairman)	Andover St Mary's
Councillor T Burley (Vice-Chairman)	Andover Harroway
Councillor C Borg-Neal	Andover Harroway
Councillor Z Brooks	Andover Millway
Councillor D Coole	Anna
Councillor C Ecclestone	Andover Millway
Councillor V Harber	Andover St Mary's
Councillor L Lashbrook	Charlton & the Pentons
Councillor P Lashbrook	Bellinger
Councillor N Lodge	Andover Downlands
Councillor J Neal	Andover Millway
Councillor K North	Andover Romans
Councillor R Rowles	Andover Winton

Northern Area Planning Committee

Thursday 14 July 2022

AGENDA

**The order of these items may change as a result of members
of the public wishing to speak**

- 1 Apologies**
- 2 Public Participation**
- 3 Declarations of Interest**
- 4 Urgent Items**
- 5 Minutes of the meeting held on 23 June 2022**
- 6 Information Notes 5 - 10**
- 7 TPO.TVBC.1239 - 11.02.2022 11 - 20**

OFFICER RECOMMENDATION: CONFIRMATION

Simply Health, Alan Child House, Borden Gates, Andover,
SP10 2RT, **ANDOVER TOWN (WINTON)**
CASE OFFICER: Mark Wadey

- 8 21/01749/FULLN - 09.06.2021 21 - 55**

(OFFICER RECOMMENDATION: PERMISSION)

SITE: Meadow Solar Farm, Land to the South East of
Perham Down, SP11 8PQ, **THRUXTON / SHIPTON
BELLINGER / APPLESHAW / FYFIELD / KIMPTON**
CASE OFFICER: Samantha Owen

- 9 22/00833/FULLN - 24.03.2022 56 - 76**

(OFFICER RECOMMENDATION: PERMISSION)

SITE: Williams Garage, Salisbury Road, Andover, SP11
7NX, **ABBOTTS ANN**
CASE OFFICER: Samantha Owen

10 22/01147/FULLN - 26.04.2022

77 - 86

(OFFICER RECOMMENDATION: PERMISSION)

SITE: Land North East of Homelea, Andover Road,

ABBOTTS ANN / MONXTON

CASE OFFICER: Lucy Bensaid

ITEM 6

TEST VALLEY BOROUGH COUNCIL NORTHERN AREA PLANNING COMMITTEE INFORMATION NOTES

Availability of Background Papers

Background papers may be inspected up to five working days before the date of the Committee meeting and for four years thereafter. Requests to inspect the background papers, most of which will be on the application file, should be made to the case officer named in the report or to the Development Manager. Although there is no legal provision for inspection of the application file before the report is placed on the agenda for the meeting, an earlier inspection may be agreed on application to the Head of Planning and Building.

Reasons for Committee Consideration

The majority of applications are determined by the Head of Planning and Building in accordance with the Council's Scheme of Delegation which is set out in the Council's Constitution. However, some applications are determined at the Area Planning Committees and this will happen if any of the following reasons apply:

- (a) Applications which are contrary to the provisions of an approved or draft development plan or other statement of approved planning policy where adverse representations have been received and which is recommended for approval.
- (b) Applications (excluding notifications) where a Member requests in writing, with reasons and within the Application Publicity Expiry Date, that they be submitted to Committee. A Member can withdraw this request at any time prior to the determination of the application to enable its determination under delegated powers.
- (c) Applications submitted by or on behalf of the Council, or any company in which the Council holds an interest, for its own developments except for the approval of minor developments.
- (d) Applications where the Head of Planning and Building Services recommends refusal of an application solely on the basis of failure to achieve nutrient neutrality where a Ward Member requests in writing, with reasons, within 72 hours of notification of the recommendation for refusal that they be submitted to Committee for determination. A Member can withdraw this request at any time prior to the determination of the application to enable its determination under delegated powers.
- (e) To determine applications (excluding applications for advertisement consent, certificates of lawfulness, listed building consent, and applications resulting from the withdrawal by condition of domestic permitted development rights;

Schedule 2, Part 1, Classes B, C, D, E, F, G, and H of the Town and Country Planning (General Permitted Development) (England) Order 2015 or as amended) on which a material planning objection(s) has been received within the Application Publicity Expiry Date and which cannot be resolved by negotiation or through the imposition of conditions and where the officer's recommendation is for approval, following consultation with the Ward Members, the latter having the right to request that the application be reported to Committee for decision.

Public Speaking at the Meeting

The Council has a public participation scheme, which invites members of the public, Parish Council representatives and applicants to address the Committee on applications. Full details of the scheme are available from Planning and Building Services or from Democratic Services at the Council Offices, Beech Hurst, Weyhill Road, Andover. Copies are usually sent to all those who have made representations. Anyone wishing to speak must book with the Democratic Services within the stipulated time period otherwise they will not be allowed to address the Committee.

Speakers are limited to a total of three minutes per item for Councillors on the Area Committee who have personal interests or where a Member has pre-determined his/her position on the relevant application, three minutes for the Parish Council, three minutes for all objectors, three minutes for all supporters and three minutes for the applicant/agent and relevant Ward Members who are not Committee Members will have a maximum of five minutes. Where there are multiple supporters or multiple objectors wishing to speak the Chairman may limit individual speakers to less than three minutes with a view to accommodating multiple speakers within the three minute time limit. Speakers may be asked questions by the Members of the Committee, but are not permitted to ask questions of others or to join in the debate. Speakers are not permitted to circulate or display plans, photographs, illustrations or textual material during the Committee meeting as any such material should be sent to the Members *and* officers in advance of the meeting to allow them time to consider the content.

Content of Officer's Report

It should be noted that the Officer's report will endeavour to include a summary of the relevant site characteristics, site history, policy issues, consultations carried out with both internal and external consultees and the public and then seek to make a professional judgement as to whether permission should be granted. However, the officer's report will usually summarise many of the issues, particularly consultations received from consultees and the public, and anyone wishing to see the full response must ask to consult the application file.

Status of Officer's Recommendations and Committee's Decisions

The recommendations contained in this report are made by the officers at the time the report was prepared. A different recommendation may be made at the meeting should circumstances change and the officer's recommendations may not be accepted by the Committee.

In order to facilitate debate in relation to an application, the Chairman will move the officer's recommendations in the report, which will be seconded by the Vice Chairman. Motions are debated by the Committee in accordance with the Council's Rules of Procedure. A binding decision is made only when the Committee has formally considered and voted in favour of a motion in relation to the application and, pursuant to that resolution, the decision notice has subsequently been issued by the Council.

Conditions and Reasons for Refusal

Suggested reasons for refusal and any conditions are set out in full in the officer's recommendation.

Officers or the Committee may add further reasons for refusal or conditions during the Committee meeting and Members may choose to refuse an application recommended for permission by the Officers or to permit an application recommended for refusal. In all cases, clear reasons will be given, by whoever is promoting the new condition or reason for refusal, to explain why the change is being made.

Decisions subject to Completion of a Planning Obligation

For some applications, a resolution is passed to grant planning permission subject to the completion of an appropriate planning obligation (often referred to as a Section 106 agreement). The obligation can restrict development or the use of the land, require operations or activities to be carried out, require the land to be used in a specified way or require payments to be made to the authority.

New developments will usually be required to contribute towards the infrastructure required to serve a site and to cater for additional demand created by any new development and its future occupants. Typically, such requirements include contributions to community facilities, village halls, parks and play areas, playing fields and improvements to roads, footpaths, cycleways and public transport.

Upon completion of the obligation, the Head of Planning and Building is delegated to grant permission subject to the listed conditions. However, it should be noted that the obligation usually has to be completed sufficiently in advance of the planning application determination date to allow the application to be issued. If this does not happen, the application may be refused for not resolving the issues required within the timescale set to deal with the application.

Deferred Applications

Applications may not be decided at the meeting for a number of reasons as follows:

- * The applicant may choose to withdraw the application. No further action would be taken on that proposal and the file is closed.
- * Officers may recommend deferral because the information requested or amended plans have not been approved or there is insufficient time for consultation on amendments.
- * The Committee may resolve to seek additional information or amendments.
- * The Committee may resolve to visit the site to assess the effect of the proposal on matters that are not clear from the plans or from the report. These site visits are not public meetings.

Visual Display of Plans and Photographs

Plans are included in the officers' reports in order to identify the site and its surroundings. The location plan will normally be the most up-to-date available from Ordnance Survey and to scale. The other plans are not a complete copy of the application plans and may not be to scale, particularly when they have been reduced from large size paper plans. If further information is needed or these plans are unclear please refer to the submitted application on the Council's website. Plans displayed at the meeting to assist the Members may include material additional to the written reports.

Photographs are used to illustrate particular points on most of the items and the officers usually take these. Photographs submitted in advance by applicants or objectors may be used at the discretion of the officers.

Human Rights

The European Convention on Human Rights" ("ECHR") was brought into English Law, via the Human Rights Act 1998 ("HRA"), as from October 2000.

The HRA introduces an obligation on the Council to act consistently with the ECHR.

There are 2 Convention Rights likely to be most relevant to Planning Decisions:

- * Article 1 of the 1st Protocol - The Right to the Enjoyment of Property.
- * Article 8 - Right for Respect for Home, Privacy and Family Life.

It is important to note that these types of right are not unlimited - although in accordance with the EU concept of "proportionality", any interference with these rights must be sanctioned by Law (e.g. by the Town & Country Planning Acts) and must go no further than necessary.

Essentially, private interests must be weighed against the wider public interest and against competing private interests. Such a balancing exercise is already implicit in the decision making processes of the Committee. However, Members must specifically bear Human Rights issues in mind when reaching decisions on all planning applications and enforcement action.

Natural Environment and Rural Communities Act 2006 (NERC)

The Council has a duty under the Natural Environment and Rural Communities Act 2006 as follows: "*every public authority must, in exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity*".

It is considered that this duty has been properly addressed within the process leading up to the formulation of the policies in the Revised Local Plan. Further regard is had in relation to specific planning applications through completion of the biodiversity checklists for validation, scoping and/or submission of Environmental Statements and any statutory consultations with relevant conservation bodies on biodiversity aspects of the proposals. Provided any recommendations arising from these processes are conditioned as part of any grant of planning permission (or included in reasons for refusal of any planning application) then the duty to ensure that biodiversity interest has been conserved, as far as practically possible, will be considered to have been met.

Other Legislation

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that determination of applications be made in accordance with the Development Plan unless material considerations indicate otherwise. The Development Plan for the Borough comprises the Test Valley Borough Revised Local Plan (2016), and 'made' Neighbourhood Plans. Material considerations are defined by Case Law and includes, amongst other things, draft Development Plan Documents (DPD), Supplementary Planning Documents (SPD) and other relevant guidance including Development Briefs, Government advice, amenity considerations, crime and community safety, traffic generation and safety.

On the 19th February 2019 the Government published a revised National Planning Policy Framework (NPPF). The revised NPPF replaced and superseded the previous NPPF published in 2018. The revised NPPF is a material consideration in planning decisions.

So that sustainable development is pursued in a positive way, at the heart of the revised NPPF is a presumption in favour of sustainable development. Decisions should apply a presumption in favour of sustainable development. This does not change the statutory status of the development plan as a starting point for decision making. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Where a planning application conflicts with an up to date development plan, permission should not usually be granted. Local planning authorities may take decisions which depart from an up to date development plan,

but only if material considerations in a particular case indicate that the plan should not be followed.

For decision-taking, applying the presumption in favour of sustainable development means:

- Approving development proposals that accord with an up to date development plan without delay; or
- Where there are no relevant development plan policies, or the policies which are most important for determining the application are out of date, granting permission unless:
 - The application of policies in the revised NPPF that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
 - Any adverse impact of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the revised NPPF when taken as a whole.

Existing Local Plan policies should not be considered out of date because they were adopted prior to the publication of the revised NPPF. Due weight should be given to them, according to their degree of consistency with the revised NPPF (the closer the policies in the Local Plan to the policies in the revised NPPF, the greater the weight that may be given).

ITEM 7

APPLICATION NO.	TPO.TVBC.1239
SUBJECT TYPE	TREE PRESERVATION ORDER
SITE	Simply Health, Alan Child House, Borden Gates, Andover, SP10 2RT, ANDOVER TOWN (WINTON)
ORDER MADE	11.02.2022
CASE OFFICER	Mark Wadey

Background paper

Appendix: TPO.TVBC.1239 (provisional order)

1.0 INTRODUCTION

- 1.1 This matter is reported to the Northern Area Planning Committee to consider objections received in respect to the making of a new Tree Preservation Order (TPO) and decide whether the TPO should be confirmed.
- 1.2 A provisional Tree Preservation Order (TPO.TVBC.1239) was made in response to a pre-planning application for the erection of 65 retirement apartments at Alan Child House in Andover. This TPO protects one individual Ash tree (T1), four Ash forming a linear group (G1) and a linear group of four Birch (G2).
- 1.3 Objections to this provisional TPO have been received.
- 1.4 The Council cannot confirm a TPO unless it first considers objections and representations duly made and not withdrawn. If a TPO is confirmed, it may be confirmed with or without modifications.

2.0 SITE LOCATION AND DESCRIPTION

- 2.1 The site is located close to the centre of Andover adjacent to the entrance of Borden Gates, between Western Avenue (A3057) to the south and Bridge Street to the north. It consists of a large office building block surrounded by hard surfacing and landscaped areas around the boundaries containing low shrubbery vegetation, hedging and trees.
- 2.2 The trees within the site can be broken down into two distinctive groups and one individual tree;

Tree Groups

Group shown as G1 – within the TPO schedule. This group stands on the north south eastern side of the site and contains 4 maturing Ash trees set within the existing car park area.

Group shown as G2 – within the TPO schedule. This group stands on the north western corner of the site and contains 4 maturing Birch trees set within the existing car park area, adjacent to the public footpath.

Individual tree – Tree shown as T1 within the TPO schedule. This Ash tree stands on the south eastern corner of the site, adjacent to the public footpath and A3057 flyover.

3.0 BACKGROUND

3.1 The area subject to the TPO.TVBC.1239 is part of a pre-application planning submission for the redevelopment of retirement housing which will require the loss of several trees within the site to accommodate the current proposals. For this reason, a TPO was considered expedient as there is now a perceived threat that trees of significant landscape importance could be felled without the appropriate protection being in place.

4.0 REPRESENTATIONS

Correspondence has been received from Barrell Treecare on behalf of their client Planning Issues Ltd, objecting to the making of the TPO on the following grounds:

TPO ref T1 Raywood Ash (*Fraxinus oxycarpa* ‘Raywood’): Whilst this tree is visible from the adjacent riverside footpath, flyover and car park, and therefore has a degree of public benefit, it has limited potential to grow much bigger due to its restricted root volume. It is already interfering with the flyover structure and will need regular management to restrict conflict in the future.

TPO ref G1 4no. Raywood Ash (*F. oxycarpa* ‘Raywood’): These four trees form a linear group within a narrow planting bed, completely surrounded by hard surfacing. They are sparse trees, with thinning crowns and are of low vigour. These trees could be replaced elsewhere on the site, on the western boundary with the car park would be ideal, with new specimen trees of higher quality, and are not worthy of a TPO.

TPO ref G2 4no Birch (*Betula pendula*): This linear group along the northern boundary of the site comprises two moderate quality trees at either end, with two very poor suppressed trees in the middle. They are all significantly restricted in terms of root volume by the adjacent boundary wall, and hard surfacing. The two central trees are certainly not worthy of a TPO.

In view of all these points, modification of the TPO is formally requested as follows:

- Omission of G1
- Omission of the two central trees in G2, and modification to two individual trees.

5.0 POLICY

5.1 POLICY AND NATIONAL GUIDANCE TOWN AND COUNTRY PLANNING ACT 1990

The Local Planning Authority may make a TPO if it appears to them to be: ‘expedient in the interests of amenity to make provision for the preservation of trees and woodlands in their area’. TPOs should be used to protect selected trees and woodlands if their removal would have a significant impact on the local environment and its enjoyment by the public.

5.2 **Legislation governing Tree Preservation Orders and tree protection in conservation areas**

Guidance is also taken from the current 2014 legislation governing Tree Preservation Orders and tree protection in conservation areas.

6.0 **TPO CONSIDERATIONS**

6.1 In assessing trees for possible inclusion in a new TPO, the Council therefore assesses whether the trees in question have public amenity value. Before doing so, however, it first determines, by reference to a list of detractors, whether the making of a new order would be defensible.

6.2 Further to the points raised by the objector, the following response is provided for the Committee's consideration:

TPO ref T1 Ash: Officer's observations found this tree to be in good health generally, growing vigorously in its surroundings. Much of the root system is covered by hard surfacing but the tree is clearly adapting well to its surroundings. Some pruning management may be required in the future to maintain clearance over the nearby flyover, but this can be easily achieved without the need to prune large limbs or significantly alter the tree's current aesthetic value. There are no visible indications to suggest that it is in decline, and it is considered to have good future potential as an amenity feature for many years to come. No objection has been raised for its inclusion within the TPO, so it is recommended the Order should be confirmed without amendment.

TPO ref G1 4 x Ash: This group of trees is also visible from several public places surrounding the site and it clearly offers some valued screening in front of Alan Child House when viewed from Western Avenue (flyover). Although the site is not in a Conservation Area, this group offers important canopy cover in a heavily urbanised environment, not very well endowed with trees. These trees are growing in a narrow planting bed, but they are already well established with potential to continue as important future amenity features. From the Officer's observations, there are no signs to suggest the trees are in decline or currently suffering from Ash-dieback disease.

TPO ref G2 4 x Birch: These trees are also surrounded by hard surfacing and a wall on one side. However, there are no signs of structural damage to the wall, so it is possible that roots are growing deeply in the underlying soil beneath the surfacing. The two end trees have become more dominant than the two middle trees but there are no obvious signs of significant health problems or decline. These trees have developed more slowly than the adjacent trees, but they are integral to the overall group feature. Collectively, they provide valued landscape cover when viewed from the public access routes between Borden Gates and Bridge Street.

Following current guidance and legislation governing the making of tree preservation orders, the Officer maintains that the group category is more appropriate than the alternative individual category requested by the objector.

6.3 The trees can be seen from public vantage points – views of the individual tree and groups may be achieved from the following public locations:

- Borden Gates.
- Westbrook Close
- Public footpath crossing the A3057 (Western Road) flyover
- Public footpath running north to south alongside the eastern river boundary linking Bridge Street with the Asda superstore

7.0 **CONCLUSION**

7.1 No objection has been raised for the inclusion of T1 (Ash), so in this respect, the Officer concludes that no amendment to the TPO is required.

Groups 1 and 2 have some restrictions to root growth but the Officer concludes that they are generally in good health with potential to contribute well to the future amenity of the area. The group designations are considered appropriate for the purpose of protecting the important tree features on this site and it is entirely reasonable that the Order is confirmed without amendment.

8.0 **RECOMMENDATION**

That TPO.TVBC.1239 is confirmed without modification.

Dated 11 February 2022

TEST VALLEY BOROUGH COUNCIL

Town and Country Planning Act 1990

**TREE PRESERVATION ORDER
TPO.TVBC.1239**

Land at Alan Child House, Bordon Gate, Andover, Hampshire

**Head of Legal & Democratic Services
Test Valley Borough Council
Beech Hurst
Weyhill Road
Andover
Hampshire
SP10 3AJ**

TOWN AND COUNTRY PLANNING (TREE PRESERVATION)(ENGLAND)

REGULATIONS 2012

TREE PRESERVATION ORDER

TOWN AND COUNTRY PLANNING ACT 1990

THE BOROUGH COUNCIL OF TEST VALLEY TREE PRESERVATION ORDER
TPO.TVBC.1239

LAND AT ALAN CHILD HOUSE, BORDON GATE, ANDOVER, HAMPSHIRE

The Borough Council of Test Valley, in exercise of the powers conferred on them by section 198 of the Town and Country Planning Act 1990 hereby make the following Order-

Citation

1. This Order may be cited as the Borough of Test Valley Tree Preservation Order TPO.TVBC.1239

Interpretation

2. (1) In this Order "the authority" means the Borough Council of Test Valley
- (2) In this Order any reference to a numbered section is a reference to the section so numbered in the Town and Country Planning Act 1990 and any reference to a numbered regulation is a reference to the regulation in the Town and Country Planning (Tree Preservation) (England) Regulations 2012.

Effect

3. (1) Subject to article 4, this Order takes effect provisionally on the date on which it is made.
- (2) Without prejudice to subsection (7) of section 198 (power to make tree preservation orders) or subsection (1) of section 200 (tree preservation orders: Forestry Commissioners), and subject to the exceptions in regulation 14, no person shall-
- (a) cut down, top, lop, uproot, wilfully damage or wilfully destroy; or
- (b) cause or permit the cutting down, topping, lopping, uprooting, wilful damage or wilful destruction of,

any tree specified in the Schedule to this Order except with the written consent of the authority in accordance with regulations 16 and 17, or of the Secretary of State in accordance with regulation 23, and, where such consent is given subject to conditions, in accordance with those conditions.

Application to trees to be planted pursuant to a condition

4. In relation to any tree identified in the first column of the Schedule by the letter "C", being a tree to be planted pursuant to a condition imposed under paragraph (a) of section 197 (planning permission to include appropriate provision for preservation and planting of trees), this Order takes effect as from the time when the tree is planted.

SCHEDULE 1

SPECIFICATION OF TREES

Trees specified individually
(encircled in black on the map)

Reference on map	Description	Situation
T1	Ash	Close to the southern boundary of Alan Child House next to the River Anton and Western Avenue. As shown on plan.

Trees specified by reference to an area
(within a dotted black line on the map)

Reference on map	Description	Situation
None		

Groups of trees
(within a broken black line on the map)

Reference on map	Description	Situation
G1	4 x Ash	Forming a landscape strip between the building of Alan Child House and Western Way. As shown on plan.
G2	4 x Birch	Along the northern boundary of Alan Child House. As shown on the plan.

Woodlands
(within a continuous black line on the map)

Reference on map

Description

Situation

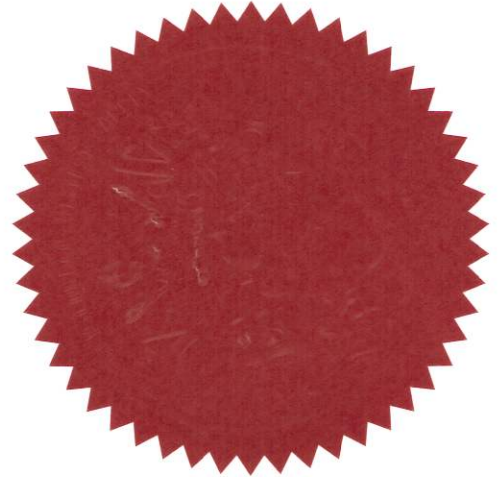
None		
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The Common Seal of Test Valley Borough Council
was hereto affixed this 11th day of February 2022

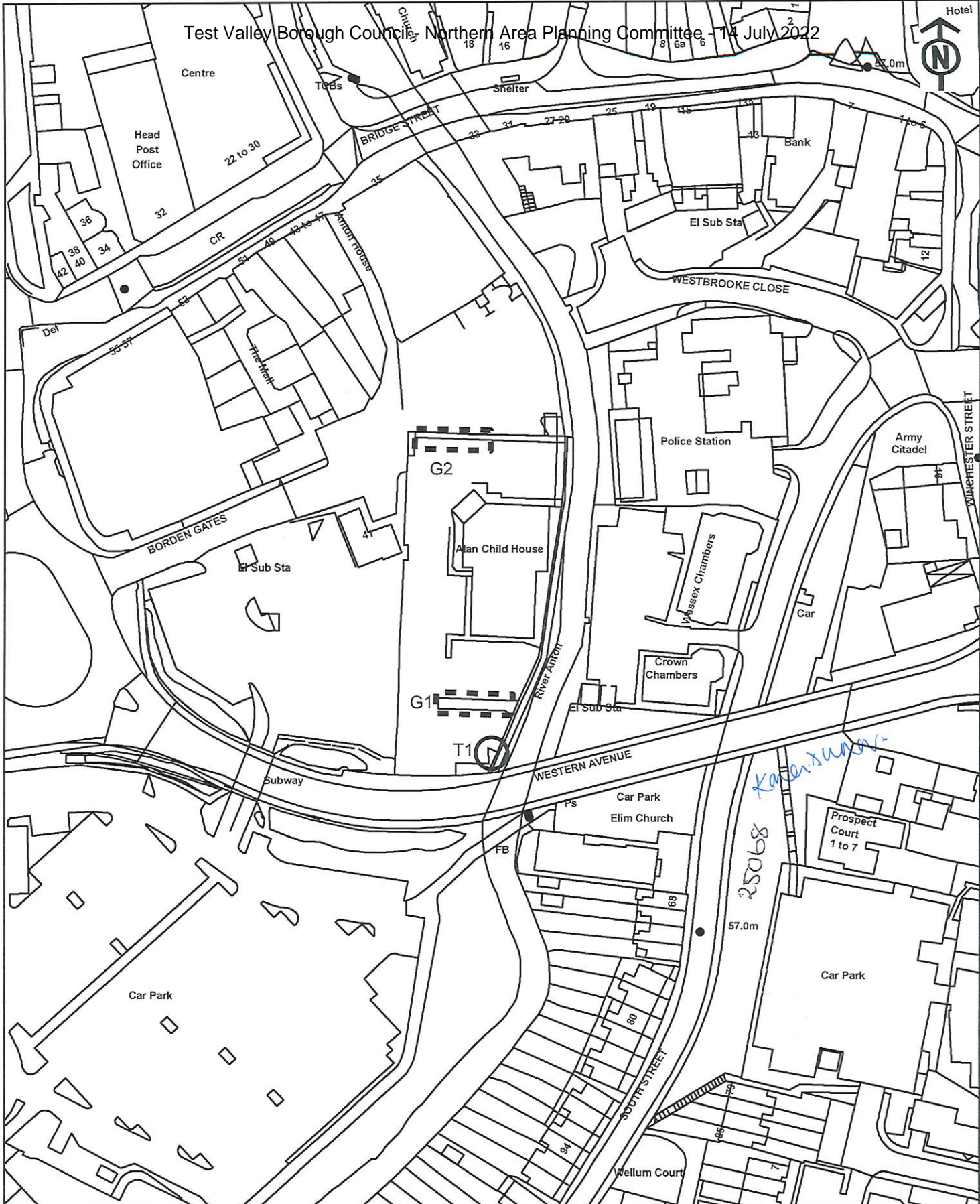
Karen Duncanson

.....

Authorised by the Council to sign in that behalf



25068



Tree	Area
Group	Woodland

TOWN AND COUNTRY PLANNING ACT 1990
 Section 198-201

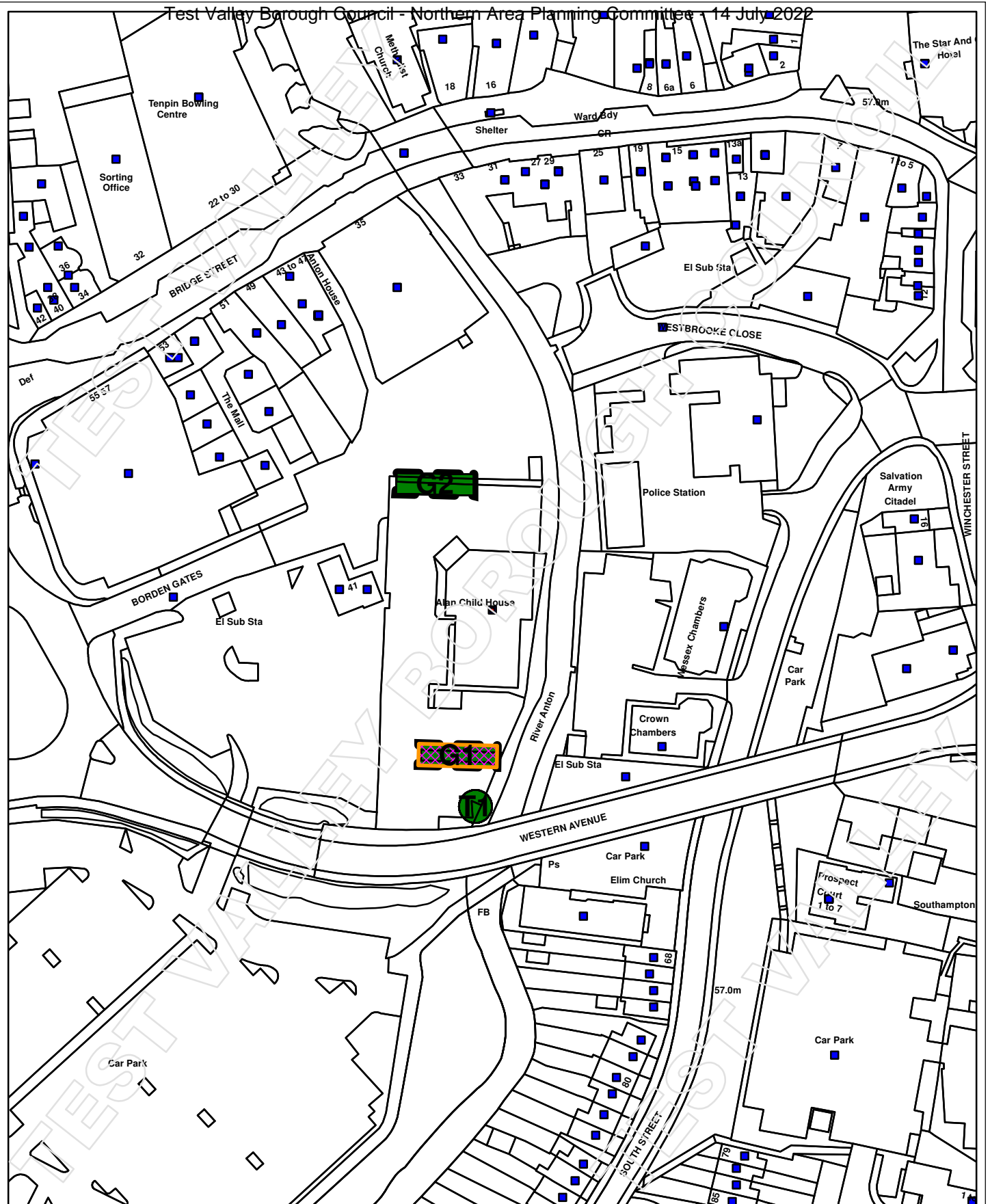
TREE PRESERVATION ORDER TVBC 1239
 Location: Alan Child House, Borden Gate
 Andover, Hampshire, SP10 2RT

OS Grid: SCALE: 1:1250 DATE: FEBRUARY 2022 DRAWING No: 1

Test Valley

Borough Council

HEAD OF PLANNING AND BUILDING
 BEECH HURST: WEYHILL ROAD
 ANDOVER: HAMPSHIRE: SP10 3AJ
 Tel: 01264 398000



Siteplan



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 HER MAJESTY'S STATIONERY OFFICER © CROWN COPYRIGHT.
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 AND MAY LEAD TO PROSECUTION OR CIVIL PROCEEDINGS.

TPO.TVBC.1239

ITEM 8

APPLICATION NO.	21/01749/FULLN
APPLICATION TYPE	FULL APPLICATION - NORTH
REGISTERED	09.06.2021
APPLICANT	Low Carbon UK Solar Investment Company Ltd
SITE	Meadow Solar Farm, Land to the South East of Perham Down, SP11 8PQ, THRUXTON / SHIPTON BELLINGER / APPLESHAW / FYFIELD / KIMPTON
PROPOSAL	Construction and operation of a solar photovoltaic farm, battery storage and associated infrastructure, including inverters, batteries, substation compound, mast , security cameras, fencing, access tracks and landscaping
AMENDMENTS	Alternative site assessment – 28.06.2021 Amended Stone Curlew Survey, Cultural Heritage Assessment, Design and Access Statement and LVIA and additional covering letter - 18.08.2021 Amended and Additional Geophysical Report - 30.09.2021 Additional Transport Statement and Response to Highways – 05.10.2021 Swept Path Analysis – 05.11.2021 Amended Development Zone Plan, Location plan, Site Layout Plan – 05.11.2021 Amended Transport Statement – 08.11.2021 Additional Habitat Survey 10/12.11.2021
CASE OFFICER	Samantha Owen

Background paper (Local Government Act 1972 Section 100D)

[Link to Planning Application Documents](#)

1.0 INTRODUCTION

- 1.1 This application was deferred at the Northern Area Planning Committee of the 23rd June 2022 to allow for a site viewing by Members to take place.
- 1.2 The application is presented to Northern Area Planning Committee at the request of a member.

2.0 SITE LOCATION AND DESCRIPTION

- 2.1 The site is located to the south of Perham Down and covers an area of 80 hectares across four distinct parcels. The site is currently under arable production. There are pockets of ancient woodland adjacent to the site and a footpath network that passes around and through the site. The site is bounded by a mix of hedges and some open boundaries. To the north of the site is the road between Great Shoddesden and Tidworth.

2.2 The site lies within a network of footpaths that link with Wiltshire's footpath network. A track known as Cow Lane which has public access across it divides the northern parcel of the site. Restricted Byway Kimpton 16 passes across the site in an east/west orientation. Public Footpath Kimpton 3 is located along the southern and part of the eastern boundary of the site.

2.3 Kimpton Conservation Area is located within a mile of the site to the east. There are no listed buildings within close proximity to the site with those located within the Kimpton Conservation Area being the nearest.

3.0 **PROPOSAL**

3.1 The application seeks full planning permission for a 75 hectare solar farm with an output of 49.9 megawatts that would power approximately 16,581 homes. The solar farm is proposed to be operational for 40 years.

3.2 The panels would be sited between 0.9m and 3m above the ground level. The racking would be positioned at an angle relative to the ground of 29.5 degrees with an anticipated gap of 3.2 metres between rows of the proposed panels.

3.3 The solar farm would also incorporate a number of ancillary structures as follows:

- 18 Inverters measuring 12.2 metres long, 3 metres deep and 2.9 metres high
- Switchgear/Control room measuring 12.5 metres long, 5.5 metres wide and 6 metres high
- Network Operator Control Room measuring 8 metres wide, 6 metres long and 4.1 metres high
- Customer Control Room measuring 10 metres long, 3 metres high and 4 metres wide.
- A Communications mast which would be of a lattice construction of 15-20 metres high.
- CCTV cameras to a height of approximately 2 metres at approximate intervals of 50 metres along the boundary line of the solar farm.
- The site has the capacity for 8 battery containers measuring 2.6m wide, 2.9 metres high and 12 metres long.

The substation would be 50 metres by 50 metres approximately with all structures constructed on a concrete base. Vehicle access to the substation would be from the road between Tidworth and Great Shoddesden to the north of the site, with an internal access track along the western boundary of the site. The whole site would be enclosed by a 2m high wooden post and metal wire deer fence.

4.0 **HISTORY**

4.1 21/00744/SCRN - Screening opinion under the Environment Impact Assessment Regulations 2017 - Proposed solar farm with battery storage and associated infrastructure – EIA not required.31.03.2021.

5.0 **CONSULTATIONS**

5.1 **Natural England - No Objection**

NE recommends that the application is supported by a Biodiversity Mitigation and Enhancement Plan which should be agreed by the Council's Ecologist. NE have raised no objection to the Appropriate Assessment in respect of the Stone Curlews provided mitigation is secured. NE have raised concerns about the use of Best and Most Versatile land to accommodate the solar array.

Recommend a Decommissioning Plan.

5.2 **HCC Local Lead Flood Authority (LLFA)**

- Applicants have submitted an FRA advising the site is in FZ1
- They have acknowledged that the site sits on chalk.
- No infiltration tests have been carried out on site
- Solar array is a low risk development
- The Applicant is proposing Swales along the sites boundary
- Sufficient storage capacity within proposed Swales to contain the 1:100+ climate change value
- Suggest Condition

5.3 **Archaeology - No Objection**

Condition to secure the Mitigation Strategy recommended.

5.4 **Landscape – Comment**

The amended landscaping scheme looks to increase many of the perimeter buffers as well as incorporating new woodland belts which helps to address many of the key concerns which were highlighted in the previous landscape response. Due to site constraints, it is not possible to address all aspects which were highlighted, in the cases where this wasn't possible, the application has provided reasonable justification.

Due to the size and scale of the proposals the development would never be able to be fully mitigated.

5.5 Planting details and a robust management plan will be required, these have been submitted but require some further work so a condition is recommended.

5.6 **Ecology – Comment**

RSPB has agreed mitigation measures to address impact on stone curlews with the applicant regarding this species. Skylark plots are also proposed. This will be agreed through a S106.

The Ecologist also recommends Conditions re the following:

- Location of mammal gates
- Lighting
- Construction Traffic Management Plan (CEMP)
- Biodiversity Enhancement plan

5.7 Royal Society for the Protection of Birds (RSPB)

- RSPB guidance requires three years of targeted surveys to confirm habitats on site do/do not support stone curlew
- Only one year provided
- In lieu of three years' worth of survey RSPB have agreed a stone curlew plot in the vicinity of the solar farm to provide acceptable habitat
- On-going maintenance needs to be secured

5.8 Highways – No objection

The following conditions are suggested;

Construction Environmental Management Plan

Access provision

Hard Surface Materials

Surface Water Details

5.9 Design and Conservation – No objection

Due to the topography of the area and the existing established tree belts and other vegetation, it is unlikely there will be direct views of the proposed solar farm from any of the designated heritage assets in the vicinity.

Glimpsed, distance views may be possible in some places but these should be unlikely to cause sufficient effect on the assets' settings that there would be harm to their significance.

The Heritage Assessment is light on photographs/ other pictorial evidence to demonstrate the settings of any assets. However as was advised in previous comments it seems unlikely that the solar farm would adversely affect the settings of any nearby assets.

5.10 HCC Rights of Way – Comment

Footpaths that are present are kept on their original routes. Support Andover Ramblers in seeking mitigation through a new route. Suggest conditions and informatives.

5.11 Andover Ramblers – Comment

- The Design and Access Statement mentions the Public Rights of Way but does not mention the Other Route with Public Access (Cow Lane).
- Plan confirms all routes will remain on current routes.
- It is important that there is an open space meadow buffer zone between the routes and the solar panels or any new fencing/hedging proposed.
- Any new hedging should be at least 5 metres either side of the path and any reduction should be approved on an individual basis.
- There will be significant loss of views especially from Restricted Byway 16.
- Should be some recompense for this loss and the walk through a quasi-industrial landscape.
- Andover Ramblers propose that an addition to the PROW network should be formally recognised to link Cow Lane and the restricted byway, this could be done without any serious impact to the solar array.

- Alternatively a new path along southern fence of the new solar array.

5.12 Environmental Protection - No objection

Conditions suggested in relation to Noise from external plant and Method of construction (dust and noise).

5.13 MOD – No objection

5.14 Wiltshire County Council (Highways) – No objection subject to securing the routing of construction traffic.

5.15 Wiltshire County Council (Landscape) - No objection.

Subject to a strong planting belt along part of the western boundary of the southern section.

5.16 DEFRA – No response

6.0 REPRESENTATIONS Expired 12.07.2021

6.1 Kimpton Parish Council: Objection

- Supportive of solar power
- Solar farm would be located in unspoilt area and should not be spoiled by a solar plant of such a large size
- Solar Farm will reduce areas for wildlife to roam.
- Solar farm will result in the loss of farmland – solar farms could be built on brownfield sites.
- Number of solar farms in area which will spoil area.
- 40 year life is stretching the envelope of plant and component as well as management experience.
- Enjoyment of using the footpath network will be reduced.

6.2 Thruxton Parish Council: No objection

6.3 Shipton Bellinger Parish Council: No response

6.4 Fyfield Parish Council: No response

6.5 Appleshaw Parish Council: No response

6.6 14 letters of representation: Manor Bridge Court, Tidworth; 27 Sheppard Street, Tidworth; Touch Down, Cow Lane, Kimpton; Barn House, Kimpton Lane, Kimpton; Kimpton Wood House, Down Road, Kimpton; 6 Deacon Road, Kimpton; 25 Fyfield Way, Perham Down; Ladysfield, Wiremead lane, E.Cholderton; Rosslyn Cottage, Biddesden Bottom Road, Redenham; The Pumphouse, 5 The green Kimpton; Kimpton Cottage, Kimpton; Unknown address, Cow Lane; Fleetwood, Cow Lane, Kimpton; Unknown address.

- Neutral on application
- Disappointed all construction traffic through Tidworth utilising Station Road which is a 20mph zone
- Could vehicles not use Somme Road using new link and improved A338
- Access to Cow Lane should be kept accessible through construction

- Development will change land use, no provisions to return the land to greenfield after 40 years making land vulnerable to other development.
- No indication of end of life considerations like battery spillage making it less likely that it will be returned to greenfield
- Language used in the application is vague
- Immature copse at top left of Cow lane this should be left out of solar array
- Wildlife should be allowed to move freely as it does at present.
- Area of stunning beauty that many people enjoy, numerous brownfield sites that could be used locally in Andover/Ludgershall
- Screening should be at least 3 metres in height
- Views from local footpaths will be ruined
- Developers have indicated that they will mitigate impact by planting, bee hives, sheep etc., appears they acknowledge proposal is not in keeping with area.
- Solar panels along A303 have less of a visual impact.
- Why can panels not be placed in already industrial area or on roofs.
- Must be another place solar panels can be erected without absorbing farm land
- Will impact views from my property (Kimpton Wood House)
- Solar Farm will be visible from Warren Hill and will be a blot on the landscape, hardly a legacy to pass to future generations

Thrupton Aerodrome – No objection

7.0 **POLICY**

7.1 Government Guidance

Climate Change Act 2008, National Planning Policy Framework (NPPF), National Planning Practice Guidance (NPPG), National Policy Statement for Energy Infrastructure (NPS).

7.2 Test Valley Borough Revised Local Plan (2016)(TVBRLP)

SD1 – Presumption in favour of Sustainable Development

E1 – High Quality Development in the Borough

E2 – Protect, Conserve and Enhance the Landscape Character of the Borough

E5 – Biodiversity

E7 – Water Management

E8 – Pollution

E9 - Heritage

LHW4 – Amenity

T1 – Managing Movement

T2 – Parking Standards

7.3 Supplementary Planning Documents (SPD)

Test Valley Renewable and Low Carbon Energy Study

8.0 **PLANNING CONSIDERATIONS**

8.1 The main planning considerations are:

- Principle of Development
- Use of agricultural land

- Landscape and Visual Impacts
- Highway Impacts and Access
- Biodiversity
- Heritage
- Surface Water Run Off
- Residential Amenity
- Glint and Glare
- Construction Issues
- Other Matters

8.2 **Principle of Development.**

Planning applications should be determined in accordance with the development plan unless material considerations indicate otherwise. The TVBRLP was adopted in January 2016. There are no specific policies within the plan relating to renewable energy.

Policy SD1 of the TVBRLP has a presumption in favour of sustainable development. It states that where there are no policies relevant to the application the Council will grant planning permission unless material considerations indicate otherwise – taking into account whether;

- a) Any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, when assessed against the policies of the NPPF taken as a whole or;
- b) Specific policies within that Framework indicate that development should be restricted.

8.3 The site is located within the countryside as defined by Policy COM2 of the TVBRLP where development is allowed if it is appropriate within the countryside as set out in relevant policies or it is essential for it to be located within the countryside. The relevant policies set out in policy COM2 do not cover the creation of solar farms. Consideration therefore needs to be given to whether it is essential for the proposal to be located in the countryside and whether there are any relevant material considerations.

8.4 The National Policy Statement for Energy (EN-1) sets out how the Government is going to reduce its carbon emissions by 2050 as at present the UK is heavily reliant on fossil fuels, which has an impact on global climate. To keep rising global temperatures to below 2 degrees there needs to be a move away from the use of fossil fuels. As part of its strategy the Government has set out its need for new low carbon energy infrastructure to contribute towards climate change mitigation.

8.5 The NPPF (2021) states in paragraph 158 that when determining planning applications for renewable and low carbon development local planning authorities should not require applicants to demonstrate the overall need for renewable or low carbon energy and recognises that even small-scale projects provide a valuable contribution and that the application should be approved if its impacts are or can be made acceptable.

8.6 Site Selection

The proposal is for a non-subsidised solar farm covering 80 hectares. Sourcing viable sites is dependent on a number of factors including connection to grid and the Planning Statement provides information on other sites that were considered. With regard to installations on existing buildings the applicant's Alternative Sites Assessment advises that there are no roofs of comparable size and utilising multiple roofs is not comparable or realistic when considered relative to a ground mounted solar array. Third party suggestions of utilising land adjacent to the A303 is noted but unless that comes forward as an alternative and available site consideration needs to be given to the proposal as submitted.

8.7 There is no guidance on what should constitute a search area. The search area has therefore been dictated by the need to connect to the grid. A 132kv overhead line runs across the site which the proposed development would connect into. This stretch of overhead line has the necessary capacity and infrastructure to accommodate the construction of the solar PV farm of the proposed size. It is considered that connection to this overhead power line could theoretically occur within 1km of it and as such the search area has been restricted to a 1km corridor on either side of this identified stretch of line. All land that had been allocated for renewable projects or land that had been allocated for employment within these areas were considered. A search on the Estates Gazette database was also undertaken and looking at both Wiltshire and Test Valley brownfield land registers. No alternative sites were identified.

8.8 **Use of agricultural land.**

Agricultural Land is classified into 5 grades. Grade 1 is best quality and Grade 5 is the poorest quality. The NPPF defines the Best and Most Versatile agricultural land as being those in Grades 1, 2 and 3a and that LPA's should recognise the economic benefits of this land and steer significant development towards poorer quality land.

8.9 The Agricultural Land Classification Report (ALCR) advises that the site has Grades 3a and 3b across it. The proposed development is a temporary and reversible use of the land with no permanent loss of agricultural land. The National Planning Practice Guidance (NPPG) on Renewable and Low Carbon Energy advises that where possible solar farms should be located on previously developed land. Where a proposal involves greenfield land consideration should be given to "Whether (i) the proposed use of any agricultural land has been shown to be necessary and poorer quality land has been used in preference to higher quality land; and (ii) the proposal allows for continued agricultural use where applicable and/or encourages biodiversity improvements around arrays." An Agricultural Quality Survey (AQS) has been submitted with the application and this indicates that the solar array would be constructed on Grades 3a and 3b which falls under the category of Best and Most Versatile Land. Information has been submitted within the AQS which details the nature of the soil. The agricultural land is stony and this can be an impediment to cultivation and result in greater wear and tear on machinery. The land the subject of the application was concluded in the AQS as being restricted to late spring and autumn crops. A number of biodiversity enhancements are proposed as part of the application and would be secured via condition.

- 8.10 Alternative sites were considered but many were constrained by connectivity to the grid, proximity to heritage assets, better grade agricultural land (Grades 1 and 2) and landscape designations (North Wessex Downs AONB). Accordingly, the 40 year/temporary loss of the ability to farm the land for arable purposes is considered acceptable.
- 8.11 The proposed solar farm would be 75 hectares of land currently in arable production. Consideration has been given to alternative sites within the area but none of these are large enough for a viable commercial solar farm and lack a viable connection to the grid. Utilising rooftops of existing buildings is also problematic due to the extent of land needed and ownership, deliverability and maintenance constraints. The agricultural land that is being utilised by the solar farms is a mix of Grade 3a and 3b and would be temporarily taken out of agricultural use to facilitate the provision of renewable energy. It is considered that it has been shown that to create a viable solar farm it is essential for it to be located within the countryside and as such accords with Policy COM2 of the TVBRLP.
- 8.12 **Landscape and Visual Impacts**
Policy E2 of the TVBRLP requires development to protect, conserve and enhance the landscape of the Borough. The NPPG on Renewable and Low Carbon Energy recognises that *“The deployment of large-scale solar farms can have a negative impact on the rural environment, particularly in undulating landscapes. However, the visual impact of a well-planned and well-screened solar farm can be properly addressed within the landscape if planned sensitively”*. Concern has been expressed by third parties regarding the visual impact of the proposed solar farm. A Landscape Visual Impact Assessment (LVIA) has been submitted as part of the application and this has assessed the impact of the proposed solar farm from numerous viewpoints. The Landscape Officer agrees that the LVIA provides an accurate assessment of the local and wider landscape character.
- 8.13 The area of the application is not subject to any landscape designations. It is characterised by gently undulating farmland with copses of trees set within it. Apart from pylons which cross the area there are few man-made structures visible. It is accepted that it is not possible to fully screen the solar array from higher ground that surrounds the site or from the footpath network that crosses the site. Instead, consideration has been given to breaking up the view of the solar array, substation and other supporting structures where possible in longer distance views and when passing in close proximity to the array screening in the form of planting blocks and hedges would be used. The Landscape Officer is supportive of this approach.
- 8.14 It is considered that there are two views that are more contentious than others these are Viewpoint 7 which looks across the array from Pickford Hill and Viewpoint 5 which passes in close proximity to the solar array and substation. An amended LVIA was submitted on the 18th August 2021. Viewpoint 7 is from Pickford Hill which is elevated in relation to surrounding land, it would not be possible to mitigate this view in its entirety even after 40 years. The hedges within this view and between Parcels 4 and 5 have been reinforced and whilst

this would have little impact on screening from Viewpoint 7, it would help contain the development and when viewed with the wider landscape would help maintain the existing field layout. From this viewpoint the proposed solar array would always be apparent and it is acknowledged that there would be harm caused by its presence in the wider landscape.

- 8.15 Viewpoint 5 would also be afforded views of the solar array, this viewpoint is along Kimpton 3 Footpath looking northwards across the southern section of Parcel 5. There is a section of Kimpton 3 Footpath of approximately 450 metres that would have clear views towards the southern section of Parcel 5. The solar array would be set back from the footpath but would be on land that rises south to north. Significant block woodland planting is proposed alongside the footpath where there are currently clear views and this would start to have an impact from year 1 with the view being partially screened and completely screened by year 15.
- 8.16 Parcel 5 would also be the location of the substation in the south-western corner and the location of the 15-20 metre mast. The substation would be a square compound area located in the south western corner of Parcel 5. A communications mast is proposed adjacent to the substation area. This would measure 1.2m on all elevations and a height of 15-20 metres. This proposed structure is of a lattice construction and would be seen in context with the proposed substation and connection to overhead power line. Kimpton 3 Footpath would be to the south and would largely be screened from the substation by existing trees, although at 15-20 metres the mast would be more visible. There is also a path to the west of the substation and this is located within Wiltshire, this is not however a formal public footpath. The substation would be visible from this path for a distance of approximately 100 metres.
- 8.17 The substation does represent a change in the landscape at this point from open fields to an enclosed densely developed area, notwithstanding this it would be encountered only from the immediate Kimpton 3 Footpath and the proposed and existing planting along this path would screen the majority of the substation from this path over time. The substation would also only be encountered for a short period when walking this path and it is considered that whilst a change has occurred in the landscape that is harmful this will be sufficiently mitigated.
- 8.18 The proposed solar array would represent a change to the wider landscape but it is considered that the proposed mitigation would mitigate the visual impact from the majority of the viewpoints and where this is not entirely possible due to the change in land levels the screening proposed would soften the views of the proposal to an acceptable extent thereby reducing its impact within the wider landscape. Long term management and maintenance arrangements for the proposed landscaping would be secure via condition. The Landscape Officer has raised no objection. It is accepted that the solar array will have a less positive impact on the landscape in its first 5-10 years as the mitigation planting matures but it is considered that over time the impact will lessen. The exception being views across the solar array from Pickford Hill, it is unlikely that these views will be completely mitigated across the life of the solar array and this will be harmful and would not positively integrate into the landscape character and would not accord with Policy E2.

8.19 Highway Impacts and Access

Policy T1 of the TVBRLP requires development to not have an adverse impact on the function, character and safety of and accessibility to the local and strategic highway network or the rights of way network. The application was submitted with a Transport Statement which details how traffic would be managed.

8.20 Concern has been expressed by third parties on the construction phase of the solar farm. Their concern has been about accessing the site from the west and through Tidworth along roads that are within a 20mph zone. This concern was also expressed by Wiltshire County Council. An amended Transport Statement was submitted on the 5th of October 2021 which changed the construction route as it passed through Tidworth, effectively taking it away from the 20mph zone. Wiltshire County Council raised no objection to the revised route.

8.21 Access

Vehicle access to the site would be obtained from the road to the north. During construction a temporary internal road would be constructed along part of the eastern boundary to allow large lorries required during the construction period to be able to egress and access the highway network safely. There would be an area within the site that would allow for lorries to pass and set down their loads. Operational traffic would have a slightly different route,

whilst the same access to the highway would be used the internal operational access road would then travel west to the boundary of the site and then south towards the substation. Offset routes to access all parcels would lead off from this route.

8.22 Hampshire County Council as Highways Authority have raised no objection to the management of traffic through both the construction phase and the operational phase, subject to condition in respect of the submission of a Construction Method Statement.

8.23 Public Rights of Way (PRoW)

The site has a number of rights of way that either cross the site or follow the boundary of the site. At present these rights of way pass through an arable landscape, with some open views across the site and surrounding countryside.

8.24 Hampshire County Council (HCC) has produced Countryside Access Plans (CAP) where HCC sets out how it will manage and improve the Public Right of Way (PRoW) network. The main issues identified within the CAP relate to the connectivity and condition of the existing access network. This development proposes to accommodate the footpaths on their existing routes and would not disrupt the connectivity of the PRoW network.

- 8.25 To mitigate the impact of the solar panels additional planting is proposed to create 'green corridors' alongside the rights of way. Andover Ramblers have requested that instead of planting adjacent to the route that a 5 metre buffer is allowed either side of the route before planting. Whilst this is noted HCC RoW who maintain the footpath network have acknowledged that there are sufficient 'green corridors' to screen the development. The Andover Ramblers have also requested an additional footpath route be created to mitigate the change to the existing footpath network. HCC PRow have supported this request. The route suggested by Andover Ramblers would result in a new path from Kimpton FP16 to the track known as Cow Lane or an alternative route that would transition along the southern fence of the solar farm.
- 8.26 It is acknowledged that the proposed solar farm would have an impact on the character of the rights of way network in the area. The policy test for T1 is whether it would have an adverse impact on function, safety and character of and accessibility to the local rights of way network. The Andover Ramblers believe that the change from an arable field to a solar farm would result in the creation of a quasi-industrial landscape. The majority of the footpath route around and through the site would only encounter the solar farm along one side of the footpath apart from a stretch of some 300 metres of the restricted byway where walkers would be passing through the middle of the solar farm with panels on both sides. Other than this section walkers would have one side overlooking open countryside allowing open views where possible or glimpsed views through vegetation. The creation of green corridors and additional buffer planting where the footpaths or restricted byways encounter the solar farm is not considered to be out of character with the wider footpath network which is a mix of enclosed walking routes with occasional longer views. It is not considered that there is an adverse impact on the PRow network that justifies the suggested mitigation of a new route by the Andover Ramblers. The current walking routes would be available on their existing line following construction of the solar farm and the proposed planting mitigation would result in the solar farm over time being screened from walkers utilising the PRow network in the area. It is considered that the proposed development would accord with Policy T1 of the Revised Local Plan.

8.27 **Biodiversity**

Policy E5 of the RLP states:

Development in the Borough that will conserve, and where possible restore and/or enhance biodiversity will be permitted.

Development that is likely to result in a significant effect, either alone or in combination, on an international or European nature conservation designation, or a site proposed for such designation, will need to satisfy the requirements of the Habitat Regulations.

Development likely to result in the loss, deterioration or harm to habitats or species of importance to biodiversity or geological conservation interests, either directly or indirectly, will not be permitted unless;

- a) The need for, and benefits of, the development in the proposed location outweighs the adverse effect of the relevant biodiversity interest
- b) It can be demonstrated that it could not reasonably be located on an alternative site that would result in less or no harm to the biodiversity interests; and
- c) Measures can be provided that would avoid, mitigate against, or as a last resort, compensate for the adverse effects likely to result from the development.

Paragraphs 8.4, 8.5, 8.6 and 8.7 above consider the need for alternative energy sources to reach Government targets to reduce carbon emissions by 2050, they also outline the alternative sites assessment and it is considered that the application accords with criterion (a) and (b) above. Below sets out in more detail the proposed mitigation.

8.28 The proposed Landscape and Biodiversity Strategy proposes additional planting in the form of hedgerows and woodland planting which would create improvements to the connectivity between existing habitats.

8.29 Ancient Woodland

Upper Newtown Copse is an ancient woodland and is adjacent to the proposed access track and concern was expressed by the Ecologist about maintaining a suitable buffer between this track and the woodland to protect it from soil compaction and root damage and indirect impacts from lighting, noise and recreational activity. Guidance from Natural England outlines that a 15m buffer between development and ancient woodlands is required and that is largely to reduce the impact of the issues above. Notwithstanding this the only part of the development within the 15m buffer area is the access track and this would be used infrequently, the Ecologist has raised no objection to the use of the track through the operational phase of the development proposed. The Ecologist is suggesting mitigation measures through the construction phase and this would be secured via condition through the submission of a Construction Environmental Management Plan.

8.30 Bats

It has been confirmed within the submitted Ecological Assessment that there is no roosting potential for bats within the trees proposed to be removed to accommodate the development. No artificial lighting is proposed at night and this would be secured through a condition.

8.31 Hares and other mammals

Mammal gates are proposed approximately every 50 metres to ensure mammals are able to access the site. The movement of mammals across the site can change over time and the Ecologist has advised that it may be more appropriate to submit a more detailed location plan for these through a pre commencement condition. A condition in this respect has therefore been recommended.

8.32 Dormouse

There is the potential for Dormice to be present in the area. No woodland or boundary hedgerows suitable for dormice would be directly impacted by the proposed development. Indirect impacts of the development are proposed to be dealt with through the use of protective fencing and a CEMP.

8.33 Badgers

There is evidence of a badger sett on the boundary of the site and this would require a 30 metre buffer zone to be incorporated into any layout and this has been achieved. Mammal gates would also help badgers and these are discussed above and a condition in this respect has been recommended.

8.34 Skylarks

Three skylark breeding territories have been identified and these would require mitigation. Alternative skylark plots just outside the site boundary are being secured through a S106.

8.35 Stone Curlews

Stone Curlews are one of the rarest ground nesting birds in the UK and are protected under Schedule 1 of the Wildlife and Countryside Act 1981. It is an offence to intentionally or recklessly disturb birds and their young on or near an active nest and also to disturb a breeding attempt. Stone Curlews are a migratory species and breed in limited areas within the UK. Salisbury Plain is a known area where they do breed and the application site is on the edge of the Plain. Salisbury Plain has a Special Protection Area (SPA) where stone curlews are a notable species and this is located 4km to the west of the site.

8.36 The application is submitted with Ecological Surveys and Stone Curlew Mitigation Strategy. The site was surveyed between April and August 2021 and concluded that there were no nesting birds within the site. There has been a siting of a pair of stone curlews on off-site land during the survey period. In conjunction with the RSPB the applicant has agreed to provide a Stone Curlew nesting plot on offsite land adjacent to the proposed solar array. This will conform to RSPB standards in how to create a plot of this nature and will be secured through a S106. The S106 to secure the skylark plots and stone curlew plots is currently in progress

8.37 It is considered that the mitigation proposed and conditions recommended would mitigate against the adverse effects likely to result from the development and accord with Policy E5.

8.38 **Heritage Issues**

Policy E9 of the TVBRLP requires development that affects a heritage asset to make a positive contribution to sustaining or enhancing the significance of the heritage asset. Designated heritage assets impacted by the application include listed buildings, a conservation area and archaeology. The proposed solar farm is to the west of the village of Kimpton and is outside of the Conservation Area. Due to the topography of the land there would be no views of the solar farm from the Conservation Area which is over a kilometre away and it is not considered that with the distances involved that there would be any detrimental impact on the setting of the Conservation Area at Kimpton.

8.39 Kimpton has a number of listed buildings within it. It is considered that as with the Conservation Area, due to the topography and the landscape features there would be no views of the solar farm from any of the listed buildings within the village resulting in no change in terms of their setting. The Conservation Officer has raised no objection.

8.40 Archaeology

The application has been submitted with a Cultural Heritage Assessment (CHA). The CHA identifies three specific areas of archaeological sensitivity. Area 1 and Area 2 have identified Iron Age and Romano-British remains. Area 3 was not available for surveying. A Mitigation Strategy has been submitted which advises that work within the sensitive areas would follow a separate methodology. Within these sensitive areas measures would include no dig surface mounting of solar panels, laying access track on the surface, suspending cabling where possible and limiting cable troughs to 0.15m in depth. The County Archaeologist has advised that they raise no objection to this approach and as such archaeological issues would not present an overriding concern.

8.41 It is considered that the development accords with Policy E9 of the TVBRLP.

8.42 **Surface Water Run Off**

The site is located within an area of low flood risk however as the site is greater than 1 hectare in size the NPPF advises that a Flood Risk Assessment should be submitted and this has been provided. Solar installations generally do not significantly increase impermeable surfaces as there is little hardstanding involved other than for the bases of buildings. The solar panels do however prevent rain from falling directly onto the ground and concentrate rainwater to the ground in front of each table of panels. This can have minor implications for soil compaction, surface water run-off and flood risk. The Flood Risk Assessment submitted concludes that there would be some additional run off from the site due to the supporting structures. This would be managed by the use of Swales which would have a greater volume of storage than the 1 in 100 year storm event and an allowance for climate change. The LLFA have suggested a Condition. It is considered that the development would not increase the risk of flooding on or off-site and accords with Policy E7 of the TVBRLP and the NPPF.

8.43 **Residential Amenity**

The nearest residential dwellings to the solar array are those that are located at the western end of Downs Road, Kimpton. There is a cluster of three dwellings Kimpton Down Farm, Lyndale and Kimpton Wood House. The latter two dwellings share a boundary with the fields to the west. The field to the west immediately adjacent to these dwellings would not be utilised by the proposed solar array. The solar array would be located to the north west and south west of these dwellings. Due to the topography and woodland there would be no views of the solar array to the north west which would be over 400 metres away from the closest property. The solar array to the south west would be located in a field that would initially be partially visible to the occupiers of these dwellings as the hedge between the undeveloped parcel and the solar array parcel is in places relatively open.

8.44 Kimpton Wood House

The closest dwelling to the array would be Kimpton Wood House; the field that the solar array would occupy would be over 190 metres at its closest to Kimpton Wood House and would be screened from the solar array by existing woodland. With the existing screening and the separation distances any change in outlook from this property would not be detrimental. A woodland area to the south of this property and along the boundary between the fields immediately adjacent to these dwellings and the field containing the solar array is proposed as mitigation. Over time this would screen longer distance views of the solar array. At present no details of the number, density and size of this woodland planting has been provided but this would be secured through condition.

8.45 It is considered that with the proposed distances between the properties and the solar array and the long term mitigation proposed the development accords with policies LHW4 and E8 of the Test Valley Borough Revised Local Plan.

8.46 **Glint and Glare**

Policy E8 of the RLP requires development to not result in pollution which would cause unacceptable risks to amongst other things general amenity. The Planning Practice Guidance for Renewable and Low Carbon Energy does require an assessment of glint and glare for solar arrays. Glint may be produced as a direct reflection of the sun in the surface of the PV solar panel (or frame) so as to cause viewer distraction. Glare however is a continuous source of brightness as a reflection of the bright sky around the sun, rather than a direct reflection of the sun. The panels are constructed of materials that are designed to be anti-reflective as their purpose is to take in light, not reflect it. Frames are often finished in matt finish to reduce potential for reflection. This is confirmed in paragraph 6.18 of the Planning Statement accompanying the application.

8.47 The road to the north of the proposed solar farm would have glimpsed views of the solar array, although at this point the solar panels would be facing away from the road meaning glint and glare if it occurred would not be an issue.

8.48 The only other place glint and glare could be encountered is from the public footpath network. Due to the proposed screening and in some cases distance from the network any glint and glare would not be considered significant or detrimental in amenity terms.

8.49 The potential for glint and glare can also impact aircraft. The MOD were consulted on this application and have raised no objection on safeguarding issues.

8.50 It is considered that the proposed solar farm would not give rise to unacceptable impacts from glint and glare and would accord with Policy E8 of the Revised local Plan.

8.51 **Other Issues**

Concern has been expressed by third parties that following 40 years use as a solar farm the land would be 'brownfield' and would be developed. A condition is recommended to applications of this nature requiring the land to be returned to its former condition no later than 40 years from the first export date or within six months from when the array does not generate electricity for 12 consecutive months. This condition requires the land to be returned to its former state and does not create 'brownfield' land.

9.0 **CONCLUSION**

9.1 Planning Balance

The impact of the solar farm on the highway network, biodiversity, heritage and residential amenity are considered acceptable and accord with the relevant policies of the TVBRLP.

9.2 It is accepted that the solar farm would have a harmful impact on the wider landscape which is popular with local walkers and in turn this would impact upon the walkers experience as they utilise the local footpath network. Longer distance views of the solar array would be harmful and they would not be mitigated during the 40 year life of the solar array. However this is balanced against the proposal having a maximum capacity of 49.9mw which in turn would power 16,581 homes. This would contribute to energy security and reducing the potential impacts of climate change. This development would make a significant and valuable contribution to meeting national targets for renewable energy

9.3 It is considered that the benefits of the proposed development outweigh the harm caused by the proposed solar array and as such it is recommended that the application be supported.

10.0 **RECOMMENDATION**

Delegate to the Head of Planning and Building that subject to satisfactory prior conclusion of a S106 agreement to secure 6 skylark plots on offsite land and a 2ha stone curlew plot on offsite land then PERMISSION subject to:

- 1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission. This permission shall be for a period of 40 years from the date that the development is first connected to the grid (the "First Export Date"). Two weeks' notice of this first connection shall be given to the Local Planning Authority in writing. The development shall be removed and the land restored to its former condition no later than the date 40 years from the First Export Date or within six months of the development failing to generate electricity for 12 consecutive months, whichever occurs first. All structures and materials, and any associated goods and chattels shall be removed from the site and the land shall be restored to its former condition in accordance with a scheme of decommissioning work and land restoration that shall have first been submitted to and approved in writing by the Local Planning Authority.**

Reason: In order that the land is restored to its original condition following the expiry of the period of time whereby electricity is likely to be generated by the proposed development and for which a countryside location has been shown to be essentially required, in accordance with policies COM2 and E2 of the Test Valley Borough Revised Local Plan 2016.

- 2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans;
SD-01; SD-02; SD-04; SD-06; SD-07; SD-08; SD-16;SD-17; SD-20;
SD24; SD27; SD-26; DZ 01 REV12; LCS060 SP-01 REV09; LCS060
PLE-01 REV20.**

Reason: For the avoidance of doubt and in the interests of proper planning

- 3. No development shall start on site until the access, including the footway and/or verge crossing, shall be constructed and provided in accordance with the approved plans. The lines of sight splays shown on the approved plans shall be kept free of any obstruction exceeding 1 metre in height above the adjacent carriageway and shall be subsequently maintained so thereafter.**

Reason: To provide satisfactory access and in the interests of highway safety.

- 4. No development shall start on site until a Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority, which shall include:**
- a) The provision of long term facilities for contractor parking;**
 - b) The arrangements for deliveries associated with all construction works;**
 - c) Methods and phasing of construction works;**
 - d) Access and egress for plant and machinery;**
 - e) Protection of pedestrian routes and public Rights of Way during construction;**
 - f) Location of temporary site buildings, compounds, construction material and plant storage areas;**
 - g) Traffic routing and construction work shall only take place in accordance with the approved method statement.**
 - h) Measures to control dust, noise and avoidance of light nuisance.**

The Construction Method Statement shall be implemented as approved for the duration of the construction works.

Reason: In the interest of the amenities of the local area and in accordance with Policy E8 of the Test Valley Borough Revised Local Plan 2016.

- 5. Prior to commencement of the development hereby permitted, a Construction Environmental Management Plan (CEMP), incorporating measures to avoid impacts on the adjacent designated sites, habitats and species shall be submitted to and approved in writing by the Local Planning Authority. This must include all requirements outlined within the report titled 'Meadow Solar Farm Ecological Assessment' undertaken by Landscape**

Science Consultancy Ltd., August 2021. Development shall subsequently proceed in accordance with any such approved details for the duration of the construction works.

Reason: To protect notable locally designated sites, habitats and species in accordance with Policy E5 of the Test Valley Revised Local Plan 2016.

- 6. Prior to the commencement of the development hereby permitted, a Biodiversity Management and Enhancement Plan for created and retained habitats on site must be submitted to and approved in writing by the Local Planning Authority. This must include all requirements outlined within the report titled 'Meadow Solar Farm Ecological Assessment' undertaken by Landscape Science Consultancy Ltd, August 2021. The development shall proceed in accordance with any such approved details, with mitigation and enhancement features being maintained for the 40 year life of the solar array as a minimum. Photographic evidence of habitats created on site should be submitted to the Local Planning Authority within 6 months of completion.**

Reason: To ensure the favourable conservation status of protected species and habitats, and enhance the biodiversity of the site in accordance with Policy E5 of the Test Valley Revised Local Plan

- 7. Prior to commencement of the development hereby permitted, the results of the updated badger surveys of the site (to be carried out by a qualified ecologist), along with details of any necessary resulting mitigation, including specification and location of mammal gates, shall be submitted to and approved in writing by the Local Planning Authority. Thereafter any agreed mitigation shall be implemented in accordance with the approved details.**

Reason: To ensure the favourable conservation status of protected species in accordance with the NPPF and Policy E5 of the Test Valley Revised Local Plan 2016.

- 8. No development shall start on site until details of a scheme to prevent surface water from the site discharging on to the adjacent highway have been submitted to and approved in writing by the Planning Authority. The development works shall be carried out in accordance with the approved details before any part of the development is occupied and shall be retained thereafter.**

Reason: To ensure adequate provision for surface water drainage and avoid discharge of water onto the public highway in accordance with Policy T1 of the Test Valley Borough Revised Local Plan 2016.

- 9. No development shall begin until a detailed surface water drainage scheme for the site, based on the principles within the Flood Risk Assessment ref: PFA Consulting May 2021 has been submitted and approved in writing by the Local Planning Authority. The submitted details should include:**

- A technical summary highlighting any changes to the design from that within the approved Flood Risk Assessment.**

- **Infiltration test results undertaken in accordance with BRE365 and providing a representative assessment of those locations where infiltration features are proposed and demonstrating the 1m unsaturated zone.**
- **Detailed drainage plans to include type, layout and dimensions of drainage features including references to link to the drainage calculations.**
- **Detailed drainage calculations to demonstrate existing runoff rates are not exceeded and there is sufficient attenuation for storm events up to and including 1:100 + climate change.**
- **Confirmation that sufficient water quality measures have been included to satisfy the methodology in the Ciria SuDS Manual C753.**
- **Exceedance plans demonstrating the flow paths and areas of ponding in the event of blockages or storms exceeding design criteria.**

Reason: To ensure adequate provision for surface water drainage and avoid discharge of water onto the public highway in accordance with Policy E7 of the Test Valley Borough Revised Local Plan 2016.

- 10. The construction route to build the solar array shall be in accordance with the amended Transport Statement submitted on 8 November 2021.**

Reason: In the interest of the amenities of the local area and in accordance with Policy T1 of the Test Valley Borough Revised Local Plan 2016.

- 11. The proposed hard surfaces shall either be made of porous materials or provision shall be made to direct run-off water from the hard surfaces to a permeable or porous surface within the site. These surfaces shall be retained and maintained for the lifetime of the development.**

Reason: To ensure adequate provision for surface water drainage and avoid discharge of water onto the highway in accordance with Policy T1 of the Test Valley Borough Revised Local Plan 2016.

- 12. Prior to the installation of any external fixed plant or mechanical equipment, an assessment of noise from the operation of the plant or equipment shall be undertaken using the procedures within British Standard BS4142:2014+A1:2019 and a report detailing the results and any noise attenuation measures shall be submitted to and approved in writing by the Local Planning Authority. Any fixed plant, mechanical equipment and associated noise attenuation measures approved pursuant to this condition shall be installed and operated in accordance with the approved details and thereafter permanently retained in that condition.**

Reason: In the interest of the amenities in the local area in accordance with Policy E8 of the Test Valley Borough Revised Local Plan 2016.

13. The development shall be carried out in accordance with the details, mitigation and maintenance as set out in the Flood Risk and Assessment received on 9 June 2021.

Reason: To ensure adequate drainage of the site in accordance with Policy E7 of the Test Valley Borough Revised Local Plan 2016.

14. The development shall be carried out in accordance with the Archaeological Mitigation Strategy, Written Scheme of Investigation dated September 2021.

Reason: The site is potentially of archaeological significance in accordance with Test Valley Borough Revised Local Plan (2016) Policy E9.

15. The development shall be carried out in accordance with the Stone Curlew Mitigation Strategy dated November 2021 and updated April 2022.

Reason: To protect stone curlews in accordance with Policy E5 of the Test Valley Revised Local Plan 2016.

16. Prior to the erection of any solar panels on the site a landscaping scheme in accordance with the approved Plan EDP 6 Landscape and Biodiversity Strategy dated 18.08.2021 as contained within the Landscape and Visual appraisal by EDP dated August 2021 shall first been submitted to and approved in writing by the Local Planning Authority.

The scheme shall include:

- a) Details of the location, number, size and density of plants for all new hedgerows (including specimen trees where proposed) ;
- b) Details of the location, number, size and density of plants to be used in the infilling of gaps within the existing hedgerows;
- c) Details of location, number, size and density of plants for all new woodland planting;
- d) Details of the proposed establishment of the calcareous wildflower swards located under the solar panels;
- e) Details of the location, number, size and density of plants to be used in the proposed habitat buffer;
- f) Details of the location, number, size and density of plants to be used in the woodland edge planting areas;
- g) Details of any gates proposed.

All landscaping shall be implemented in accordance with the approved details and shall be completed before the installation is first connected to the grid.

Reason: To improve the appearance of the site and enhance the character of the development, and to assist in the development successfully integrating with the landscape, in the interest of visual amenity, and to contribute to the character of the local area in accordance with policies E1 and E2 of the Test Valley Borough Revised Local Plan 2016.

17. Prior to the erection of any solar panels on the site a schedule of landscape maintenance and subsequent landscape management for a period of 40 years shall be submitted to and approved in writing by the Local Planning Authority. The schedule shall include:

- a) details of agricultural use of the land and associated management practices;
- b) details of how the success or failure of the initial landscape planting and associated land-management regime is to be monitored and reported to the Local Planning Authority annually for the first 5 years after planting and thereafter on a 5 year basis;
- c) details of the means by which any failures in landscape planting are to be identified and reasonably remedied over the 40 year life of the development hereby permitted;
- d) details of responsibilities for maintenance and management of landscaping.

Development shall be carried out in accordance with the approved details.

Reason: To improve the appearance of the site and enhance the character of the development, and to assist in the development successfully integrating with the landscape, in the interest of visual amenity, and to contribute to the character of the local area in accordance with policies E1 and E2 of the Test Valley Borough Revised Local Plan 2016.

18. Prior to any lighting being installed details of the location, height and lux levels will be submitted to and approved in writing by the Local Planning Authority. Development shall proceed in accordance with any approved details.


Reason: To retain control over lighting levels within the area to protect existing bat populations within the area in accordance with Policy E5 of the Test Valley Borough Revised Local Plan 2016.

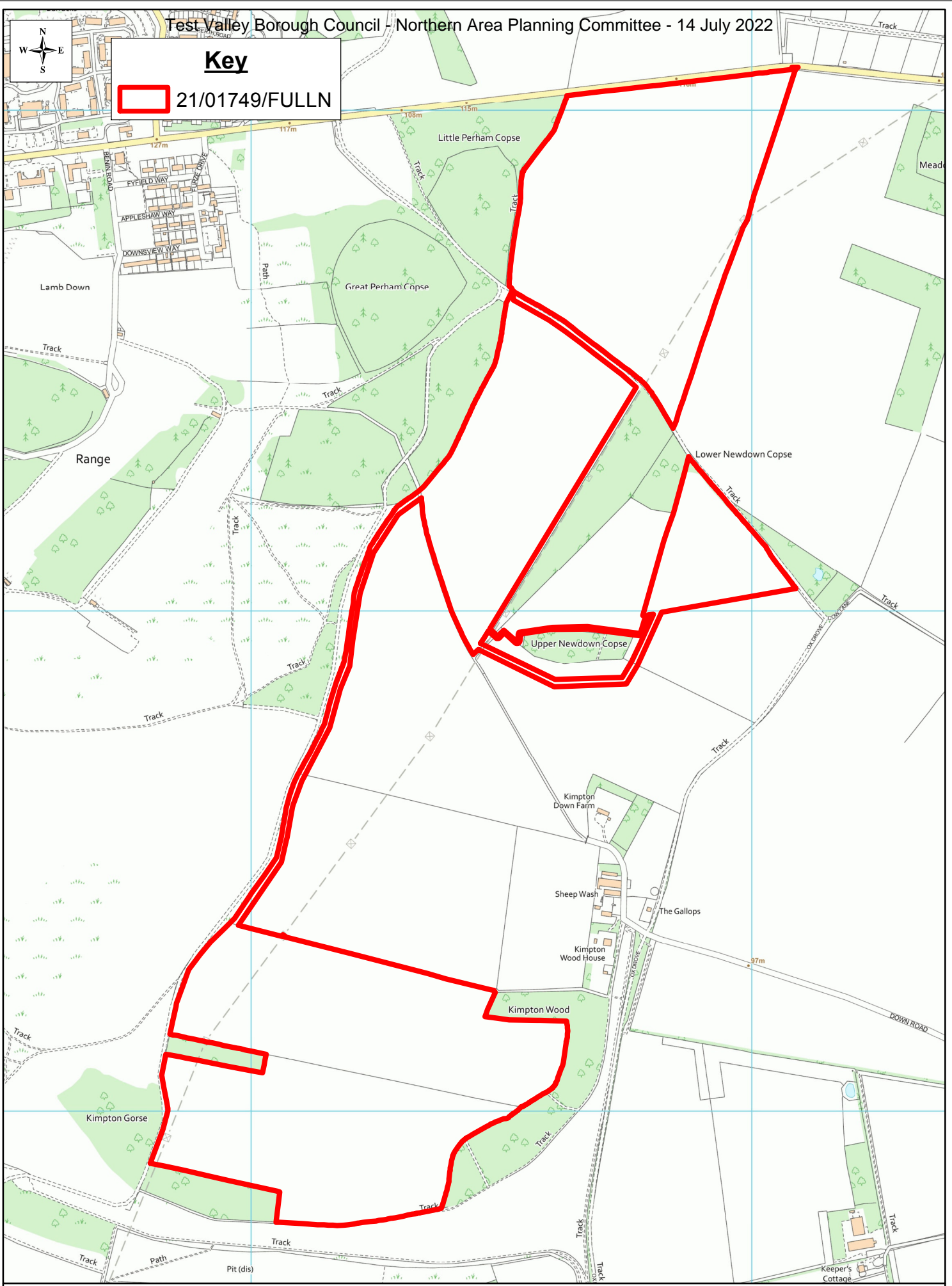
Notes to applicant:

1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.
2. Nothing connected with the development or its future use should have any adverse effect on the rights of way which must remain available for public use at all times.
3. There must be no surface alterations to the Public Rights of Way without the consent of Hampshire County Council as Highway Authority. To carry out any such works without this permission would constitute an offence under s131 of the Highways Act 1980.
4. No builders or contractors vehicles, machinery, materials, fencing, spoil or anything associated with the works should be left on or near the public Rights of Way so as to obstruct, hinder or provide a hazard to users.
5. All vehicles accessing the site over a Public Right of Way should give way to the public at all times.

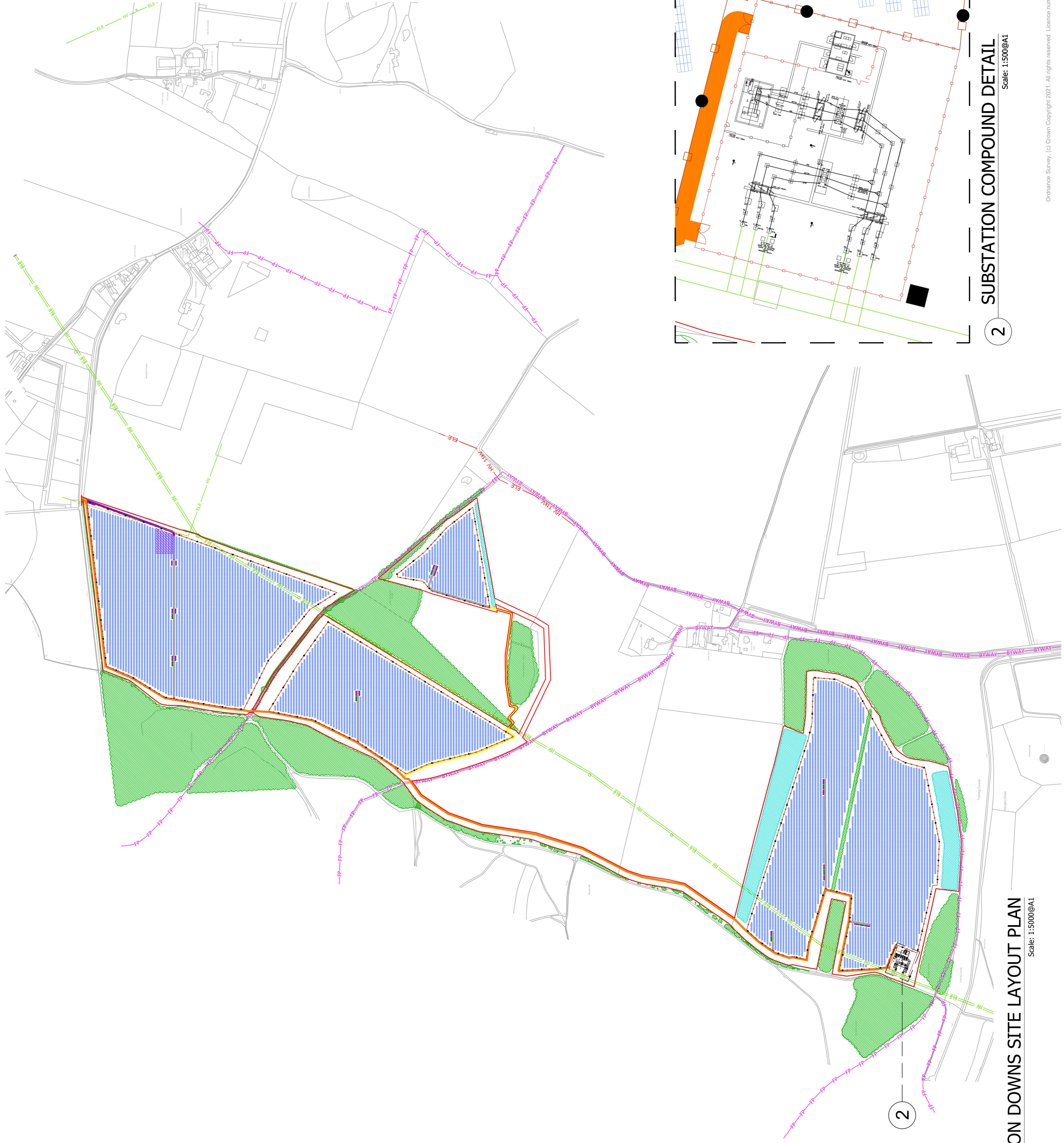
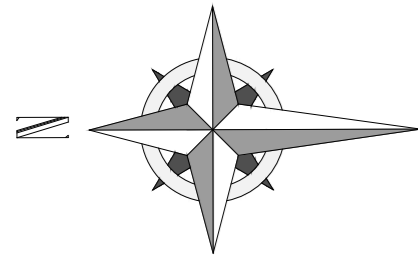
- 6 Attention is drawn to the requirements of the Agreement dated (in progress) under Section 106 of the Town and Country Planning Act 1990 which affects this development**
-



Key
 21/01749/FULLN



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1 KIMPTON DOWNS SITE LAYOUT PLAN
Scale: 1:5000@A1

Revision	Date	Revision Notes	Drawn	Inspected
01	02.03.21	First Issue	HN	LM
02	02.03.21	Panel Layout	GP	LM
03	02.03.21	Amended Road Line	HN	LM
04	11.03.21	Revised	HN	LM
05	11.03.21	Revised	HN	LM
06	05.04.21	Revised	HN	LM
07	05.04.21	Revised	HN	LM
08	05.04.21	Revised	HN	LM
09	05.04.21	Revised	HN	LM
10	12.06.21	Revised	HN	LM
11	24.06.21	Revised	HN	LM
12	24.06.21	Revised	HN	LM
13	29.06.21	Updated to show water troughs	JF	LM
14	29.06.21	Amended Road Line	JF	LM
15	27.06.21	Revised	MAC	LM
16	16.06.21	Revised	MAC	LM
17	16.06.21	Revised	MAC	LM
18	02.07.21	Road Line and Bar Mouth Updated	PL	LM
19	02.07.21	Road Line and Bar Mouth Updated	PL	LM
20	02.07.21	Road Line and Bar Mouth Updated	PL	LM
			PL	BL

LEGEND:

	PROPOSED SITE		FOOTPATH		RESTRICTED BYWAY		DNO ACCESS		CONSTRUCTION AND MAINTENANCE ACCESS		SITE ACCESS		TEMPORARY ACCESS		PERIMETER FENCELINE		OH ELEC CABLE		IV		BE		EW		BE		EW		LAYDOWN AREA
--	---------------	--	----------	--	------------------	--	------------	--	-------------------------------------	--	-------------	--	------------------	--	---------------------	--	---------------	--	----	--	----	--	----	--	----	--	----	--	--------------

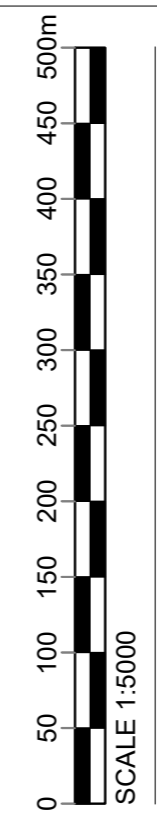
VEGETATION:

	PROPOSED VEGETATION		EXISTING VEGETATION
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SOLAR SITE INFRASTRUCTURE:

	SUBSTATION		BATTERY
	SOLAR PANEL MODULES (PTCH 4.7m)		INVERTER
	SECURITY GATE		CCTV CAMERA
	20m MPT		LAU

Test Valley Borough Council
The Area Planning Committee - 14 July 2022



Status: **FOR PLANNING**

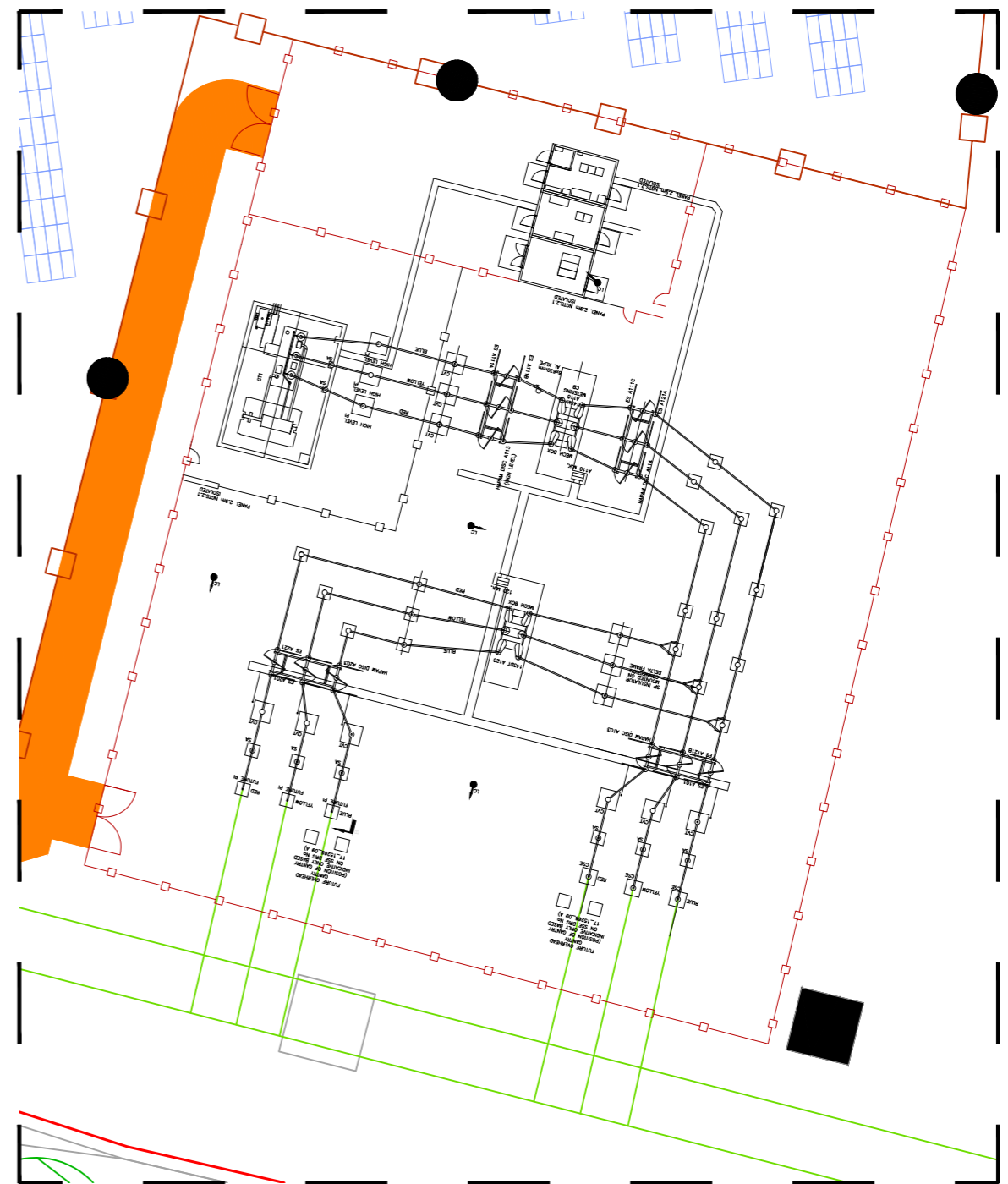
Project: **Kimpton Downs Solar Farm**

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Drawing Title: **Kimpton Downs Indicative Site Layout**

Drawn:	HN	Checked:	LM	First Issued:	02.03.2021
Project Code:	LCS060 PLE-01				
Drawing Number:					
Sheet Size:	A1	Scale:	AN	Revision:	20



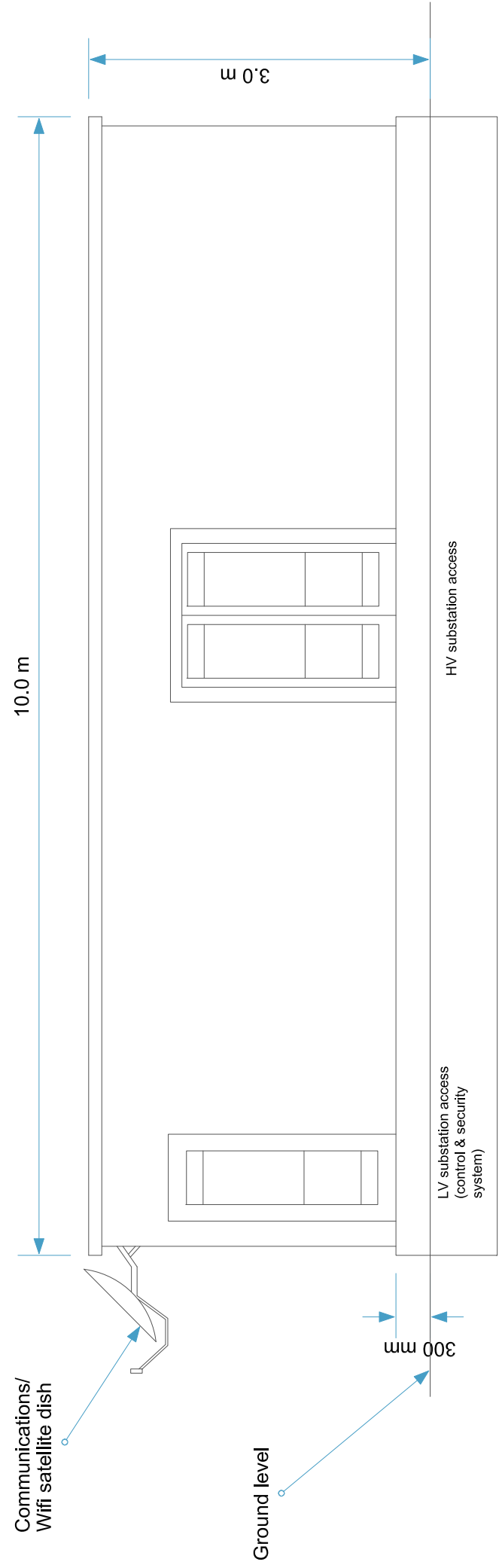
2 SUBSTATION COMPOUND DETAIL
Scale: 1:500@A1

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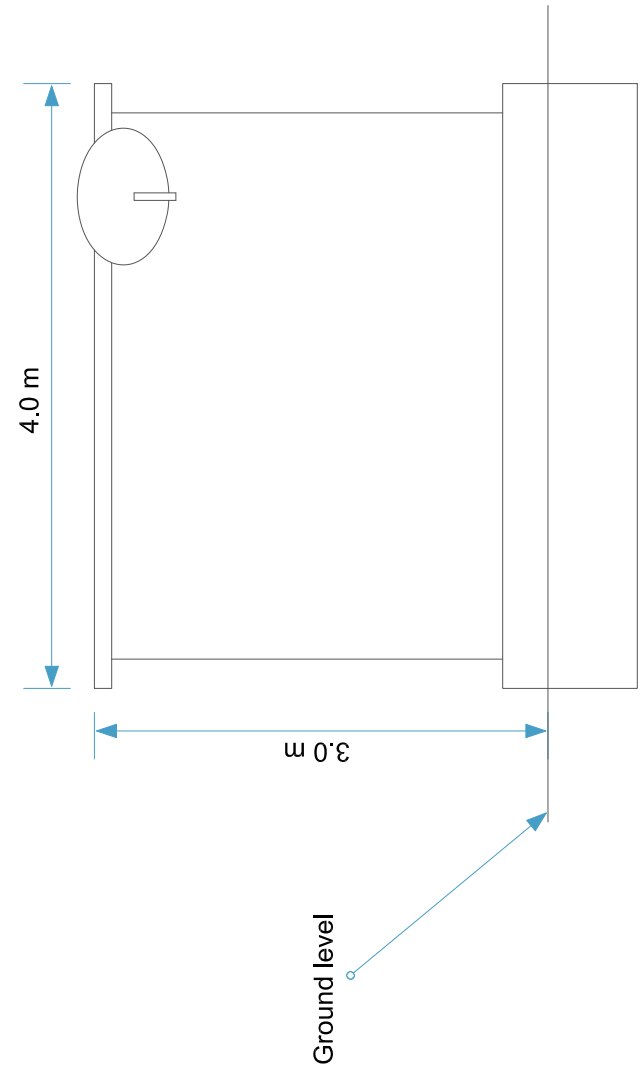
Revision	Date	Revisions/Notes	Drawn	Inspected
01	23.07.20	First Issue	HN	IL
02	14.09.20	Revised	HN	IL

NOTES:

NB: Customer Substation dimensions will vary, dependant on manufacturers selected at the detailed design stage. Measurements are indicative only.



Front Elevation



Side Elevation

Status:

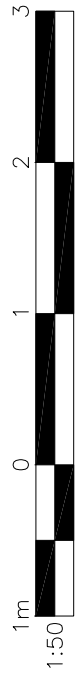
FOR PLANNING



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Drawing Title:
Customer Substation Elevations and Dimensions Plan

Drawn:	HN	Checked:	IL	First Issued:	23.07.2020
Project Code:	LCS-	Drawing Number:	SD-02	Sheet Size:	A3
Scale:	1:50	Revision:	02		



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Revision	Date	Revisions Notes	Drawn	Inspected
01	23.07.20	First Issue	HN	IL
02	14.09.20	Revised	HN	IL

NOTES:
 NB: DNO cabin dimensions will vary, dependant on network operator design requirements, selected at the detailed design stage. Measurements are indicative only.

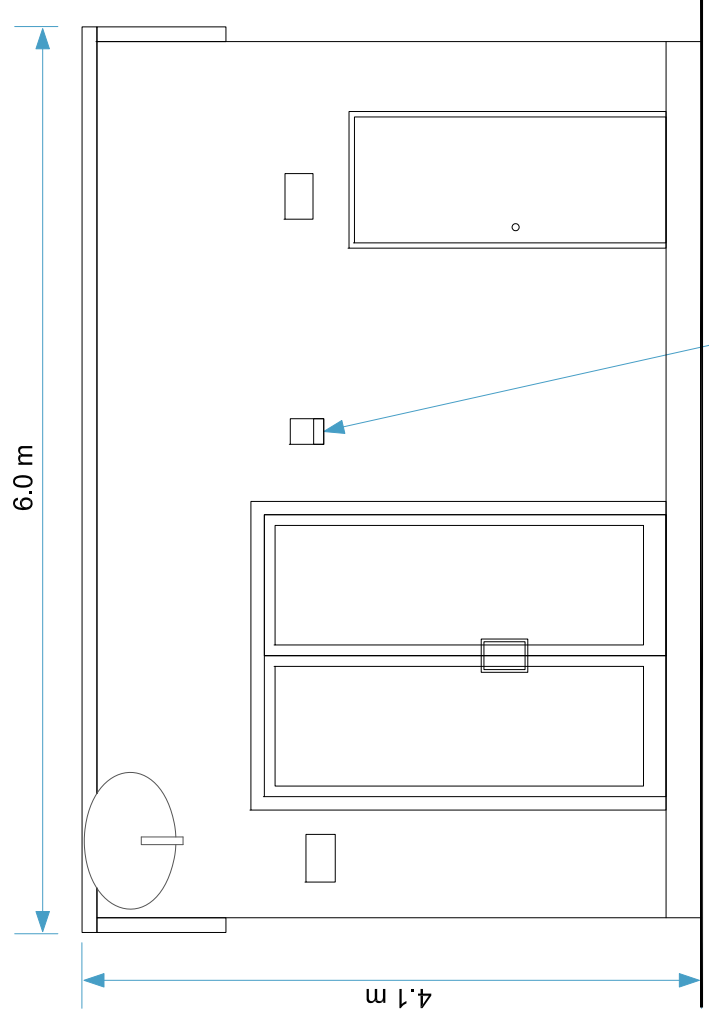
Status: **FOR PLANNING**

Project: 

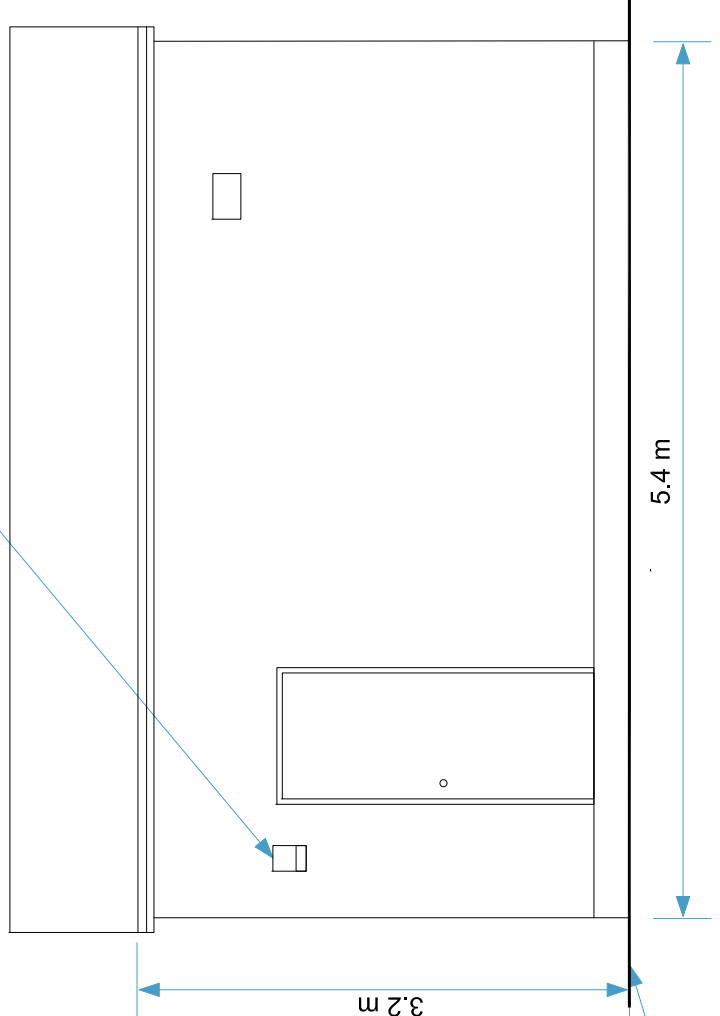
13 Berkeley Street, London W1J 8GU
 Tel: +44(0)207 4006700
 enquiries@lowcarbon.com www.lowcarbon.com

Drawing Title: **DNO Substation Elevations and Dimensions Plan**

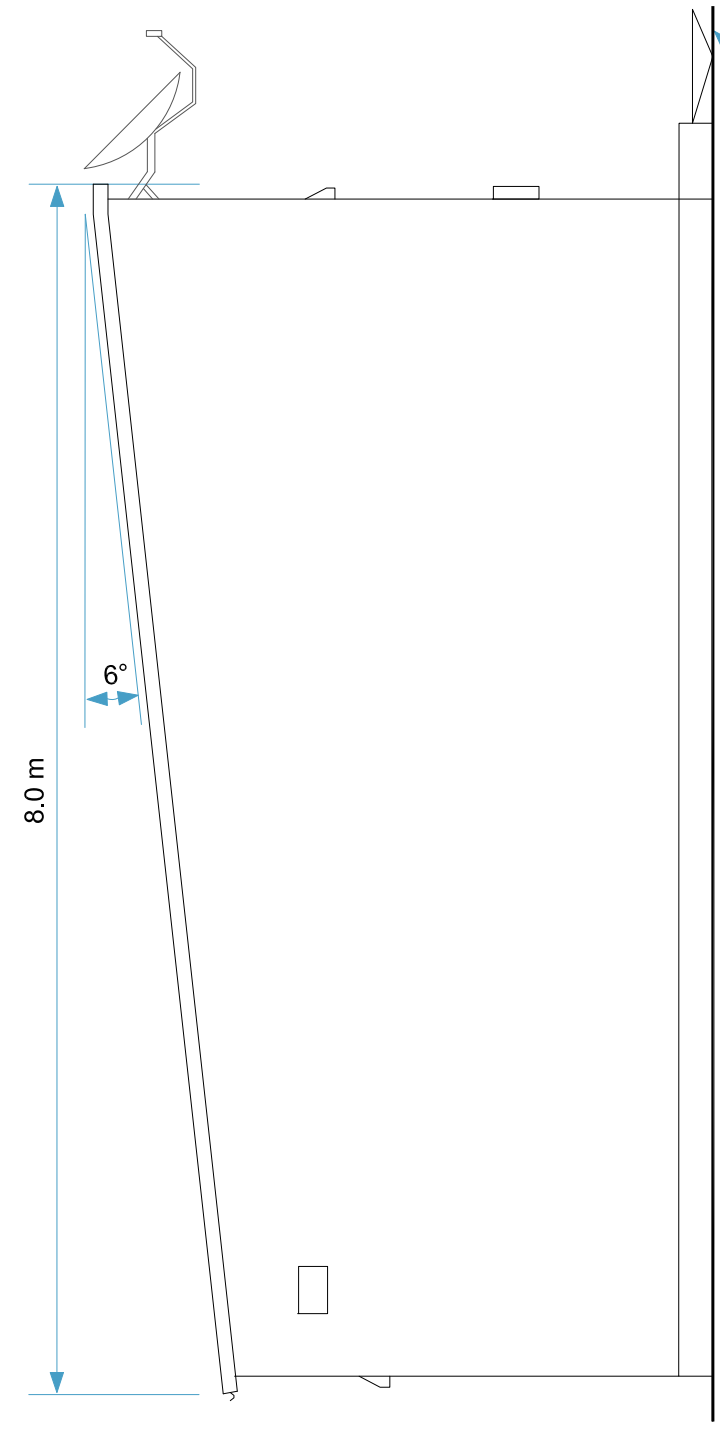
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Project Code: LCS-	Drawing Number: SD-01	Revision: 02
Sheet Size: A3	Scale: 1:50	



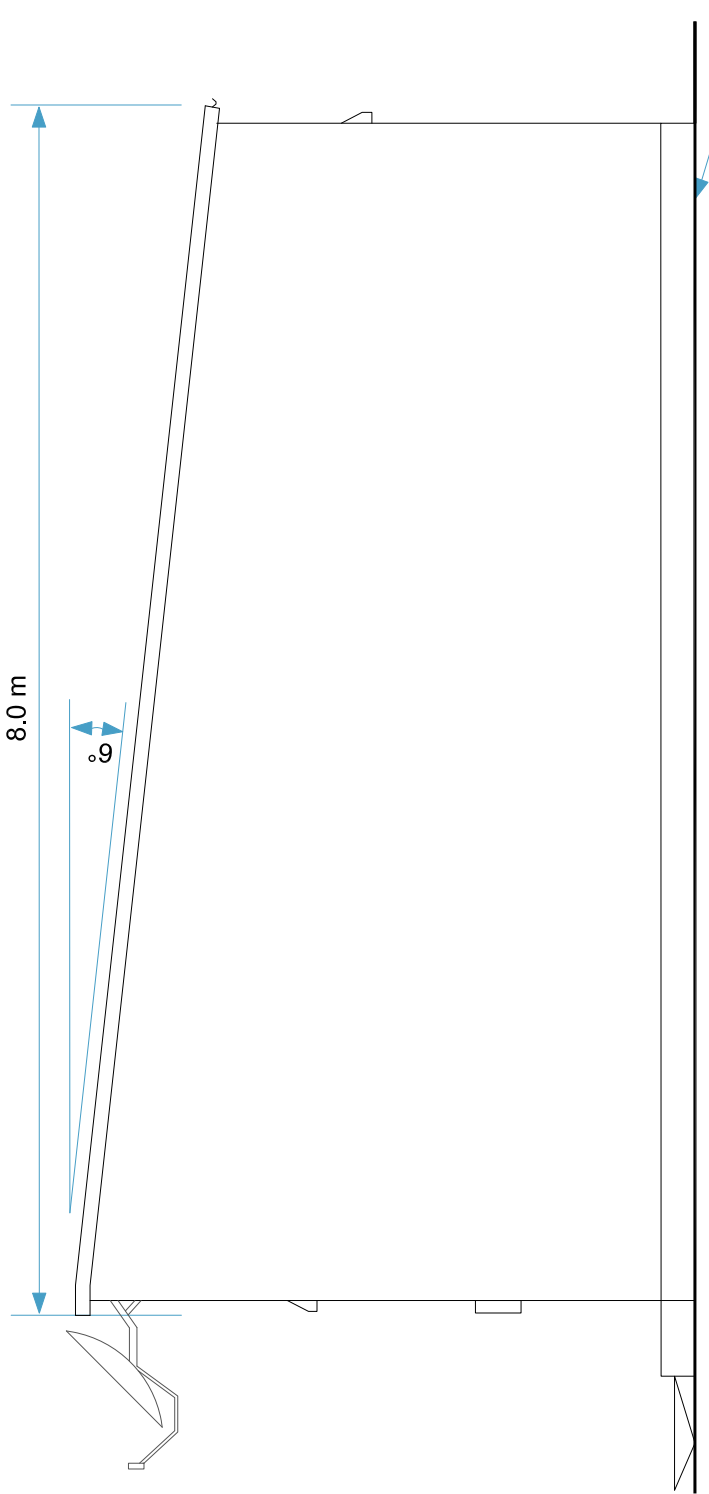
Front Elevation



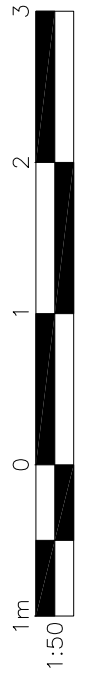
Rear Elevation



Left Elevation



Right Elevation

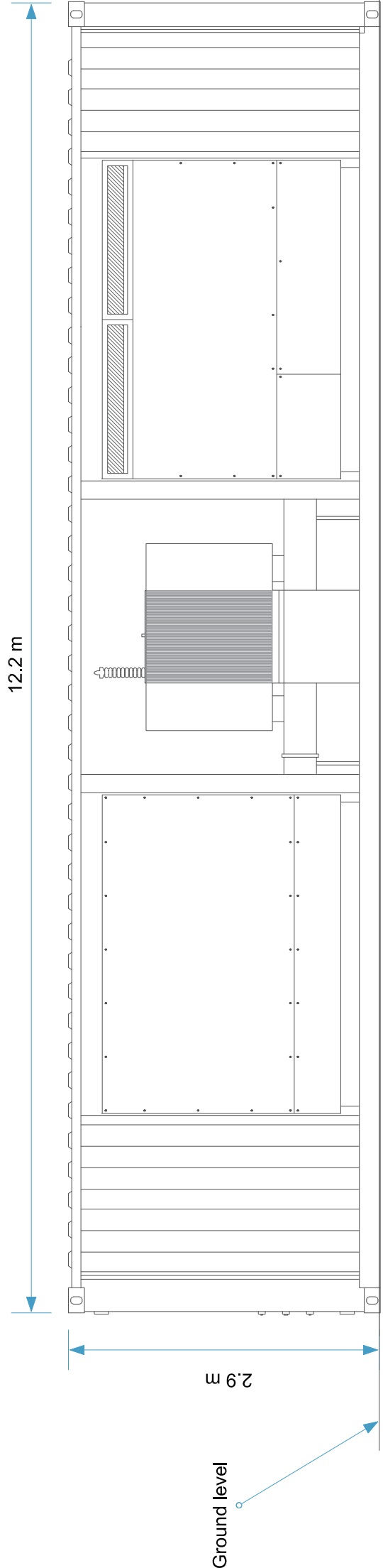


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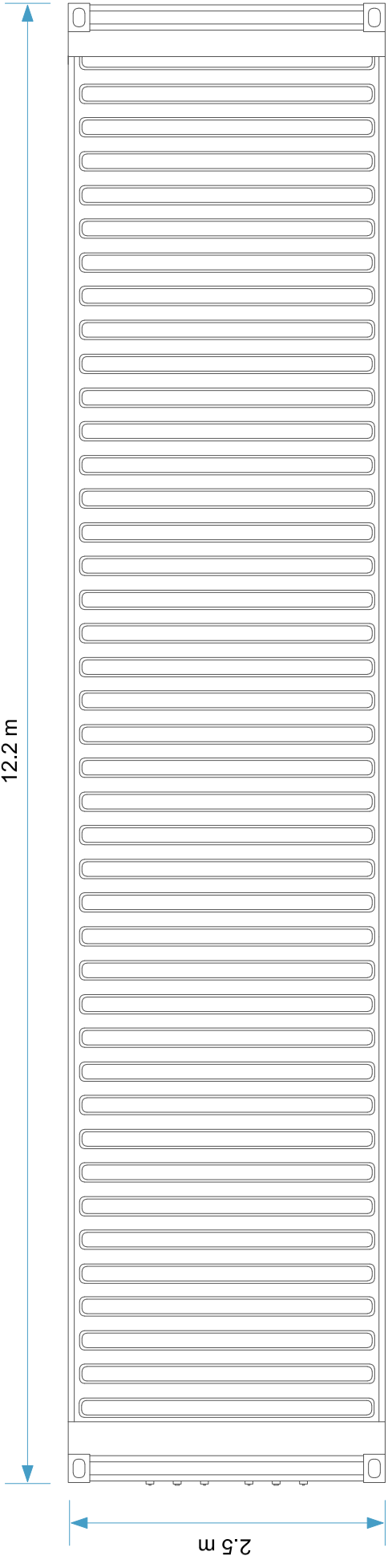
Revision	Date	Revision Notes	Drawn	Inspected
01	23.07.20	First Issue	HN	IL
02	14.08.20	Revised	HN	IL

NOTES:

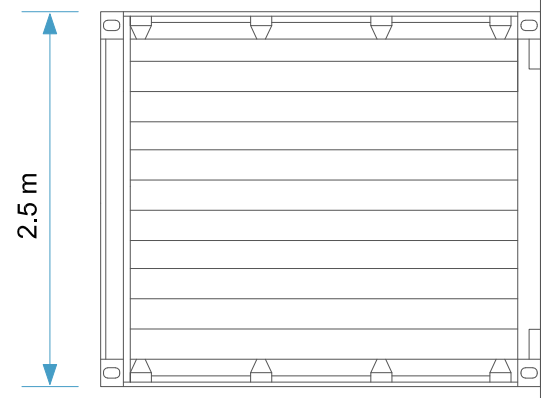
NB: Inverter dimensions will vary, dependant on manufactures selected at the detailed design stage. Measurements are indicative only.



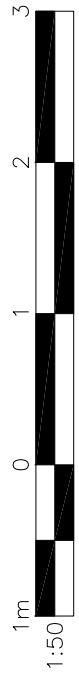
Front Elevation



Roof Plan



Side Elevation



Status:

FOR PLANNING



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Drawing Title:

Inverter Elevations and Dimensions Plan

Drawn: HN
 Checked: IL
 First Issued: 23.07.2020

Project Code: LCS-SD-08
 Drawing Number: SD-08

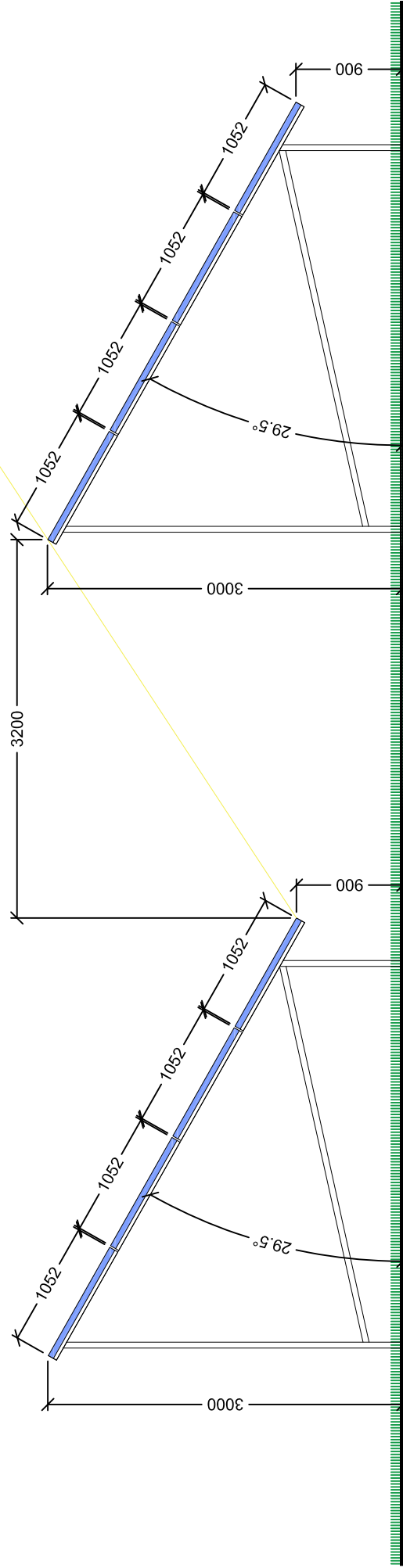
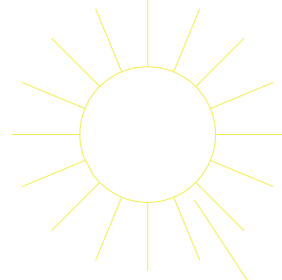
Sheet Size: A3
 Scale: 1:50
 Revision: 02

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Revisions:

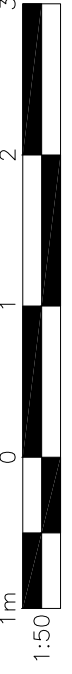
Revision	Date	Revision Notes	Drawn	Inspected
01	26.10.20	First Issue	HN	LF

LEGEND:



1 PANEL CROSS SECTION

Scale: 1:50@A3



Status:

FOR PLANNING



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Drawing Title:

Panel Arrangement
4 Landscape 29.5° Tilt

Drawn:	HN	Checked:	LF	First Issued:	26.10.2020
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Project Code:	LCS-	Drawing Number:	SD-17
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Sheet Size:	A3	Scale:	1:50	Revision:	01
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Revision	Date	Revision Notes	Drawn	Proposed
01	18.01.21	First Issue	HN	HN

NOTES:

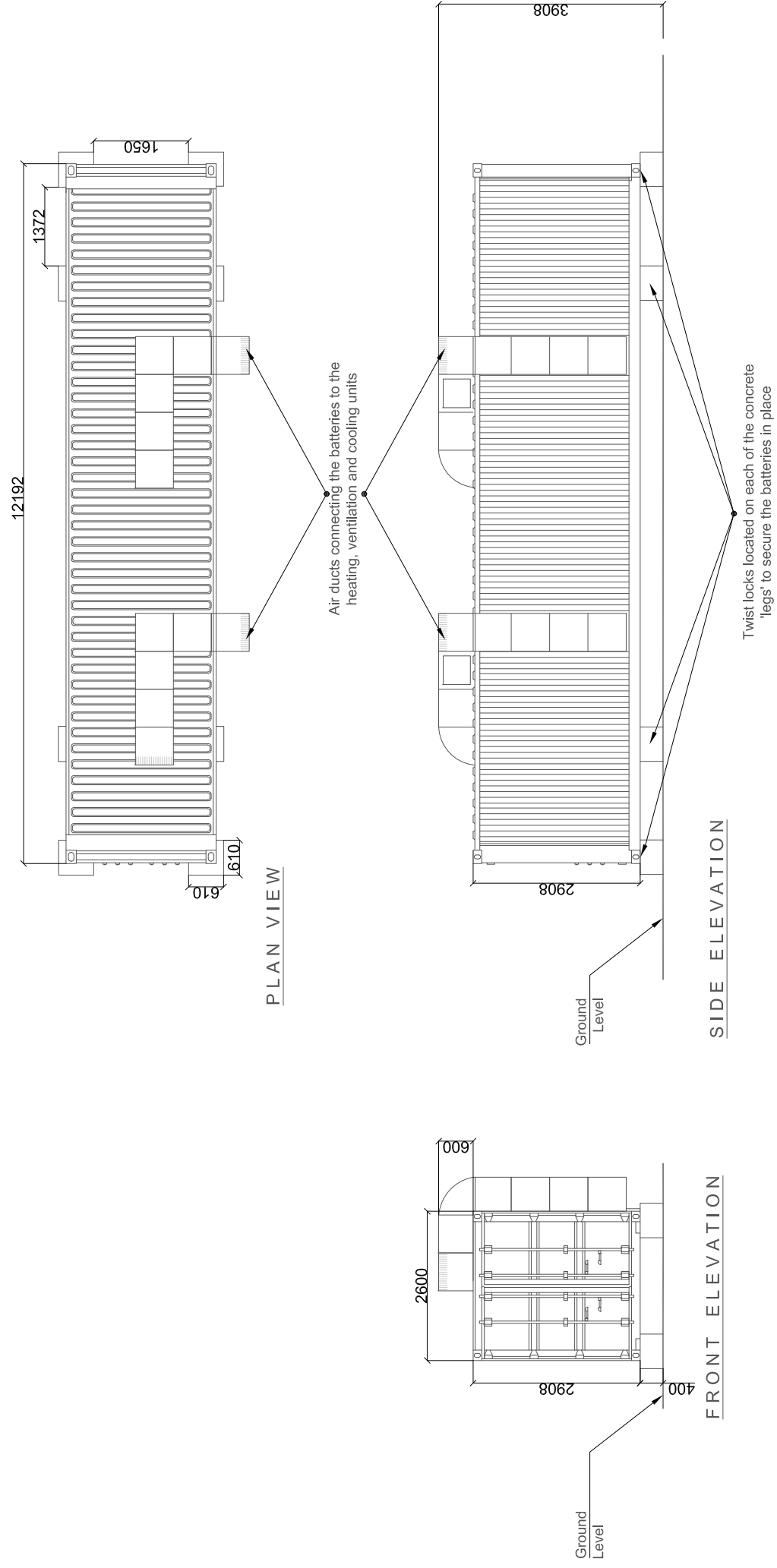
Status: **PLANNING**



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enquiries@lowcarbon.com www.lowcarbon.com

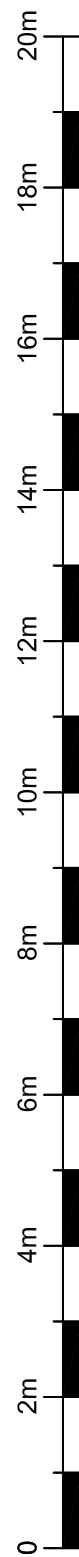
Drawing Title:
40ft Battery Container (HVAC on ground) Standard Detail

Drawn:	HN	Checked:	NW	First Issued:	18.01.2021
Project Code:	LCS-	Drawing Number:	SD-20		
Sheet Size:	A3	Scale:	AN	Revision:	01

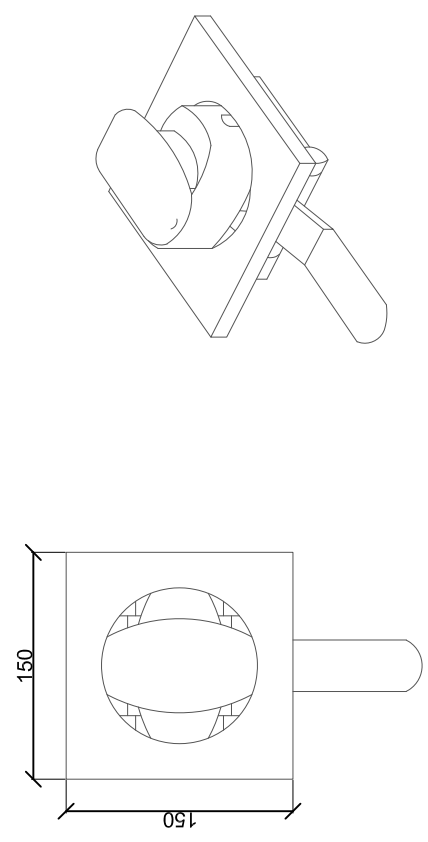


1 BATTERY CONTAINER PLAN AND ELEVATIONS

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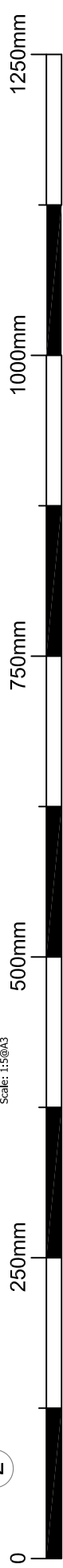


SCALE 1:100



2 WELD TWIST LOCK EXAMPLE

Scale: 1:5@A3



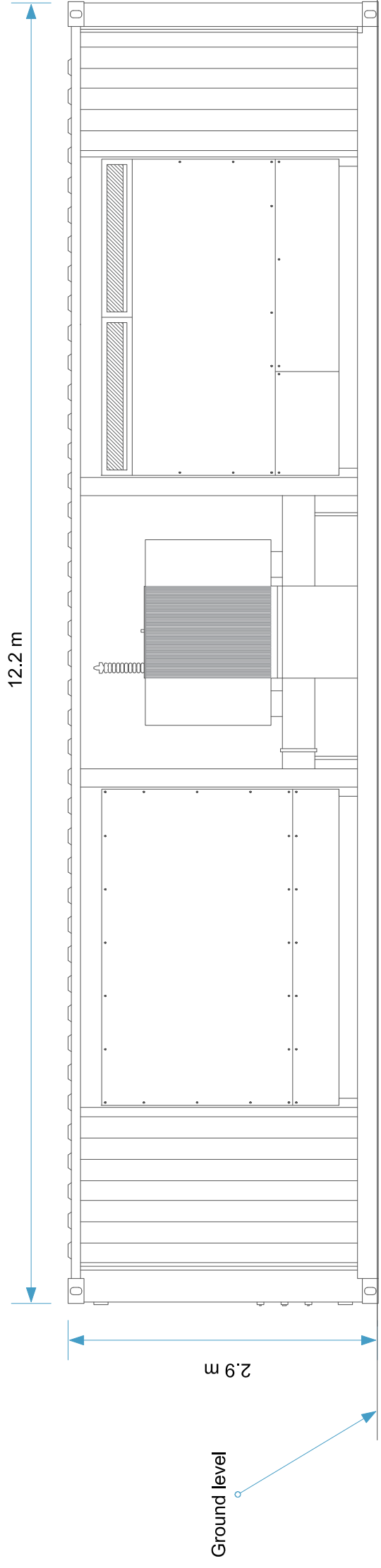
SCALE 1:5

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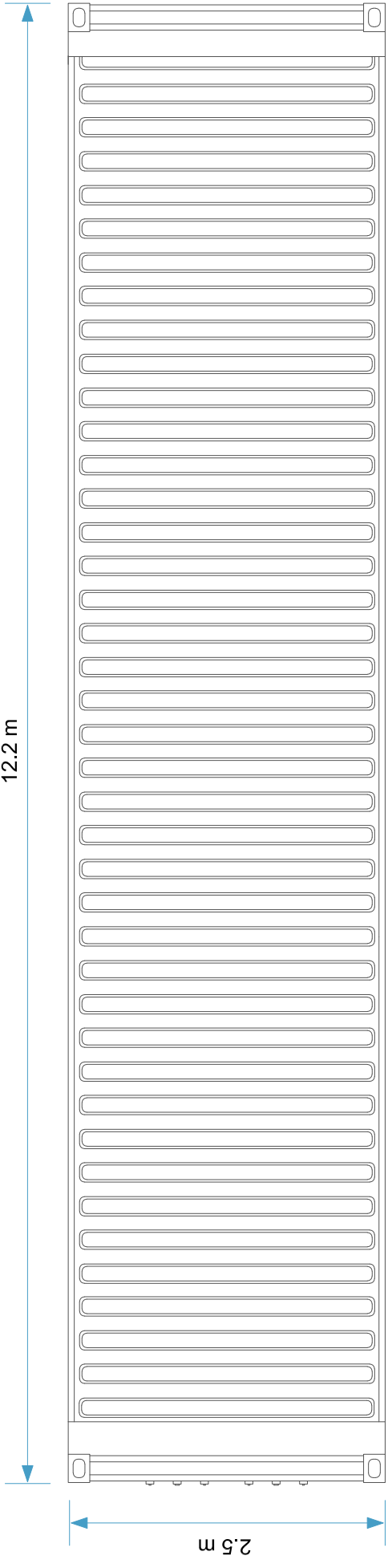
Revision	Date	Revision Notes	Drawn	Inspected
01	23.07.20	First Issue	HN	IL
02	14.08.20	Revised	HN	IL

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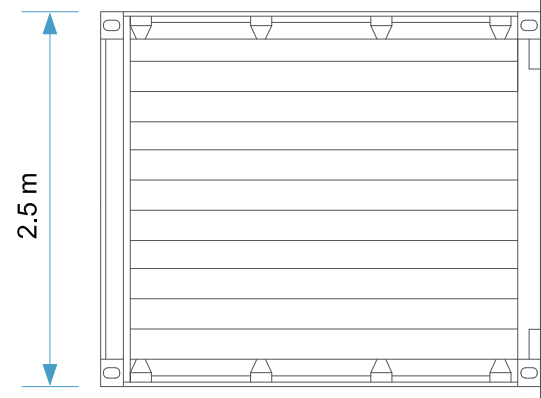
NB: Inverter dimensions will vary, dependant on manufactures selected at the detailed design stage. Measurements are indicative only.



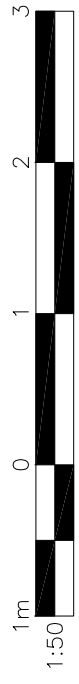
Front Elevation



Roof Plan



Side Elevation



Status:

FOR PLANNING



13 Berkeley Street, London W1J 8DU
 Tel: +44(0)207 4000700
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Drawing Title:

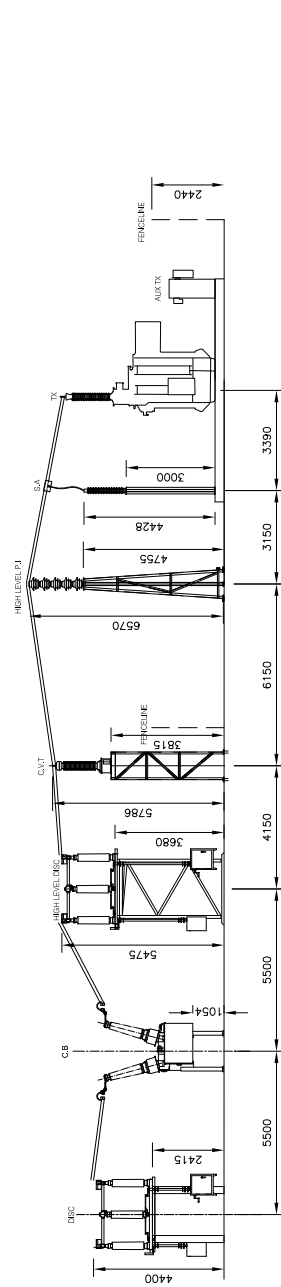
Inverter Elevations and Dimensions Plan

Drawn:	HN	Checked:	IL	First Issued:	23.07.2020
Project Code:	LCS-	Drawing Number:	SD-08	Sheet Size:	A3
Scale:	1:50	Revision:	02		

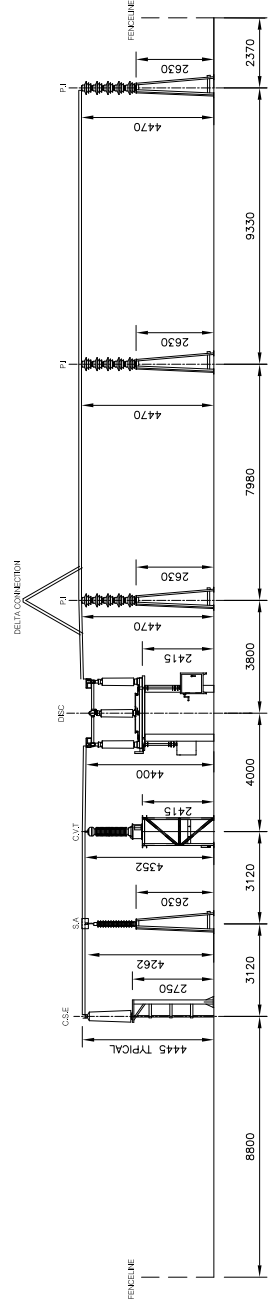
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Revisions:	Date	Revision Notes	Drawn	Inspected
01	27.05.20	First Issue	PL	IL

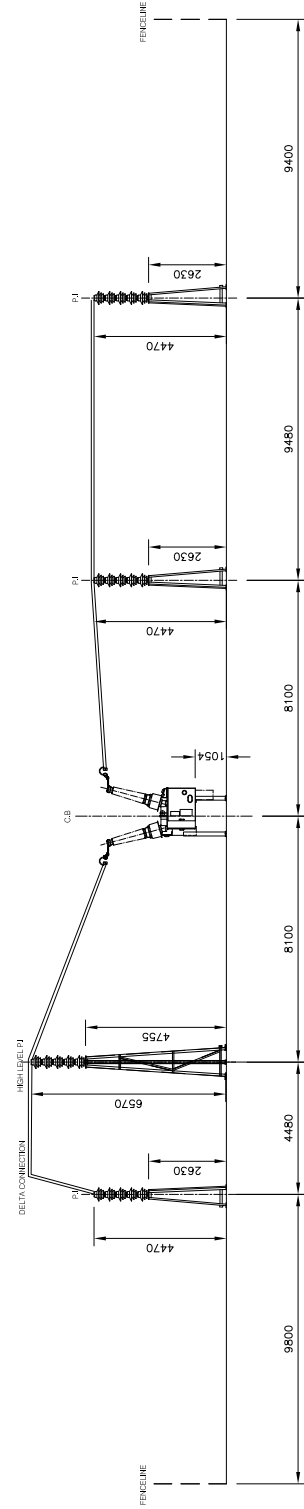
NOTES:



SECTION A-A



SECTION B-B



SECTION C-C

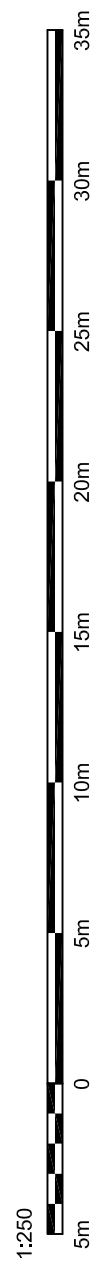
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Drawing Title:		L1LO Substation Compound Elevations	
Drawn:	Checked:	Filet Issued:	
PL	IL	27.05.2021	
Project Code:		LCS-060 SD-27	
Sheet Size:	Scale:	Revision:	
A3	1:250	01	



1:250

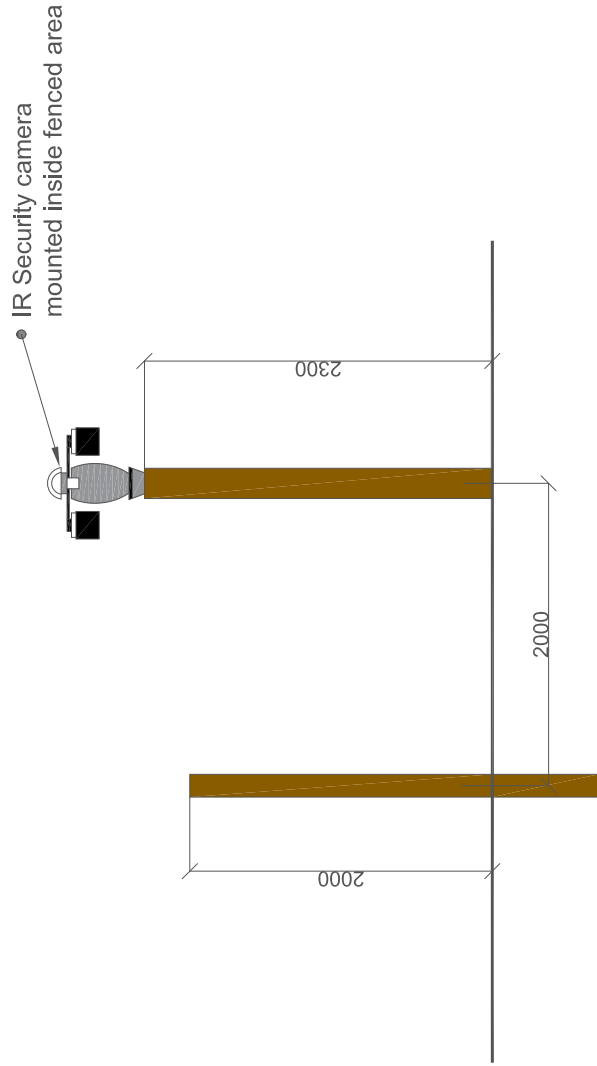
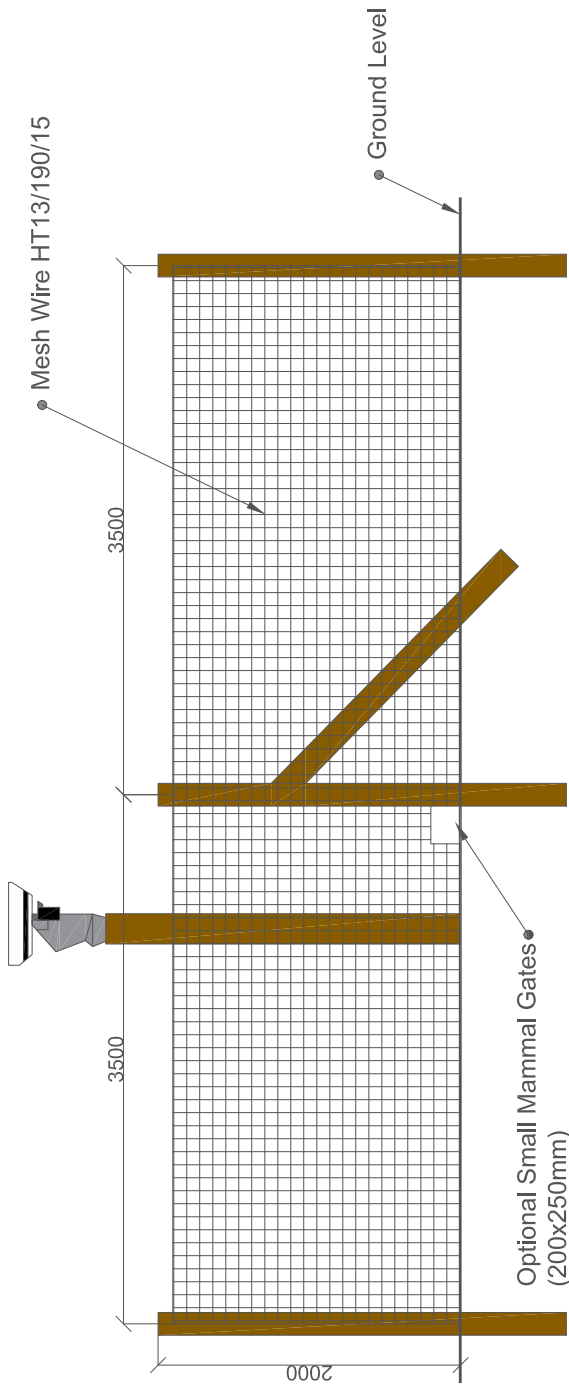
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Revisions:

Revision	Date	Description	Drawn	Inspected
01	10.08.20	Final Issue	HL	HL

NOTES:

- The colour of the cabins and components on site will be painted RAL 6005 Moss Green, or to the LPA preference.
- Cameras to either be placed inside fence line or mounted on directly onto fence posts. To be confirmed in the final EPC contract.



SCALE 1:50

Status:

FOR PLANNING



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Drawing Title: **Security Fence and CCTV Standard Detail**

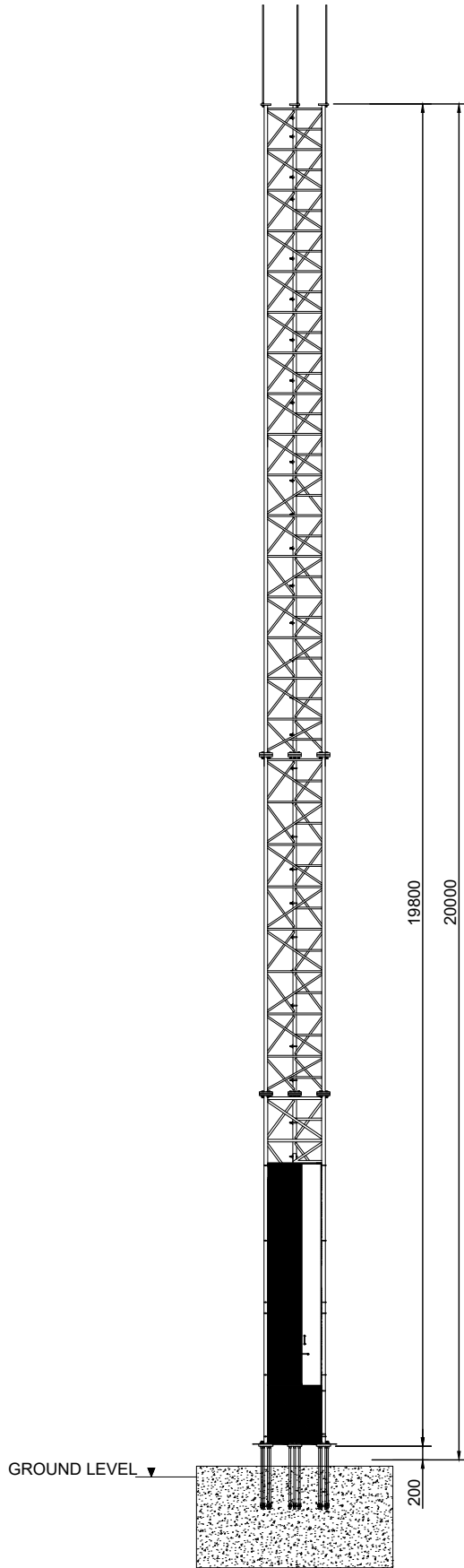
Drawn: PL	Checked: IL	First Issued: 05.06.20
Project Code: LCS-	Drawing Number: SD-04	
Sheet Size: A3	Scale: 1:50	Revision: 02

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Revisions:

Revision	Date	Revision Notes	Drawn	Inspected
01	11.05.21	First Issue	JF	BL

NOTES:

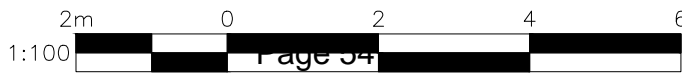


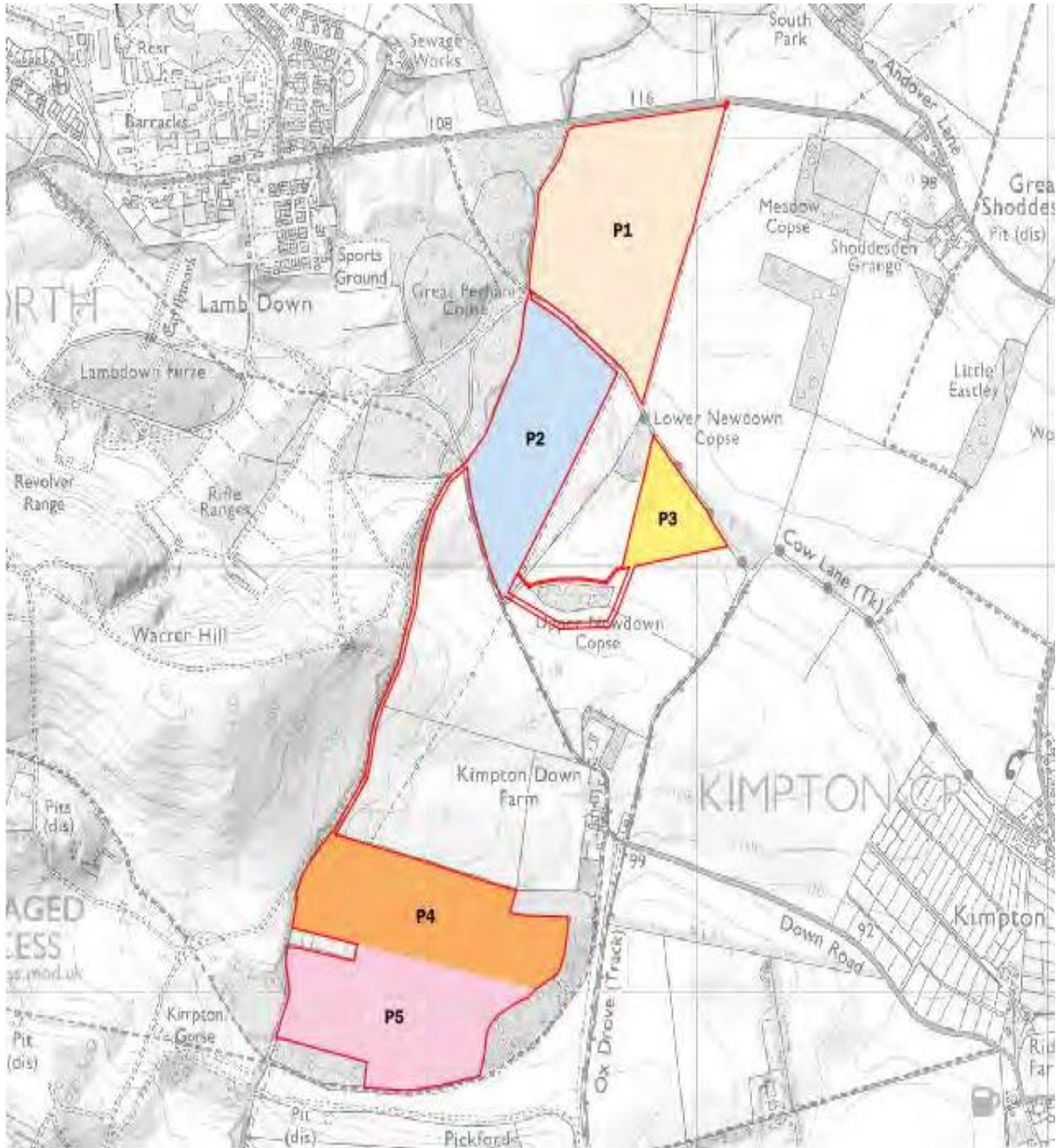
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Drawing Title:

Comms Mast Drawing

Drawn: JF	Checked: BL	First Issued: 11.05.2021
Project Code: LCS-	Drawing Number: SD-24	
Sheet Size: A4	Scale: 1:100	Revision: 01





ITEM 9

APPLICATION NO.	22/00833/FULLN
APPLICATION TYPE	FULL APPLICATION - NORTH
REGISTERED	24.03.2022
APPLICANT	Imperial Homes Southern
SITE	Williams Garage, Salisbury Road, Andover, SP11 7NX, ABBOTTS ANN
PROPOSAL	Demolish existing buildings and erect 3 detached and 2 semi-detached bungalows with parking
AMENDMENTS	Amended Site/Block/Street Scene Plan received 29.04.2022 Amended Site/Block/Street Scene Plan received 25.05.2022
CASE OFFICER	Samantha Owen

Background paper (Local Government Act 1972 Section 100D)

[Click here to view application](#)

1.0 INTRODUCTION

- 1.1 The application is presented to Northern Area Planning Committee at the request of a member.

2.0 SITE LOCATION AND DESCRIPTION

- 2.1 The site is 0.22ha in size and is situated adjacent to Salisbury Road in Abbots Ann. The site is laid to hardstanding and has two buildings; one is used for second hand car sales and MOT testing and the other is used as an office. There are two metal canopies on site which are used on the car sales forecourt to provide shelter and advertise car sales. There are two access points off Salisbury Road into the site.
- 2.2 To the north-west of the site is Kindersley Park Home consisting of 17 mobile homes. To the south-west and north-east are detached two storey dwellings set within generous plots
- 2.3 Salisbury Road is defined in this location by linear residential development along the western side of the road. The majority of the houses are detached and two storey with some bungalows present further to the north-east of the site.

3.0 PROPOSAL

- 3.1 Full planning permission is sought to demolish the existing buildings and erect 3 detached and 2 semi-detached bungalows with parking in a linear arrangement along the site. A single access/egress point would be created to serve the proposed dwellings.

4.0 **HISTORY**

- 4.1 21/01570/FULLN - Demolition of existing buildings and erect 4 detached bungalows with parking – Withdrawn 19.07.2021
- 4.2 20/02655/FULLN - Demolish existing buildings and erect 5 four bedroom detached houses with parking and garages – Withdrawn 16.12.2020
- 4.3 TVN.08063/1 – Outline planning permission sought for the erection of four dwellings. **REFUSED**. 26.03.2001.
- 4.4 TVN.08063 – Outline planning permission sought for the erection of four dwellings. **REFUSED**. 23.11.2000.

5.0 **CONSULTATIONS**

5.1 **Planning Policy: No objection**

Within settlement boundary so principle of development is agreed. Policy LE10 seeks the Retention of Employment Land and a Marketing Report has been submitted that shows the extent of marketing did not result in any deliverable interest. Consideration of criterion (b) and (c) of LE10 also relevant. Development needs to accord with all relevant policies of the RLP.

5.2 **Landscape: Comment**

Sufficient space to the front of development to plant trees and a hedge with fence behind. Query the need for the fence as a hedge would create a softer frontage. (*Officer Note Amended plans received 25th May removing front boundary fence from scheme*). This frontage landscaping will compensate for lack of ability to provide hedge divisions to the rear gardens. Consideration needs to be given to how this frontage would be maintained i.e. by individual plot owners or management company. Consideration should be given to future lighting. Conditions covering landscape specification, maintenance and management and a detailed hard and soft planting plan required.

5.3 **Trees: No objection**

Submitted with an Arboricultural Impact Assessment. No on-site trees and satisfied that offsite trees can be protected through tree protection conditions. Plot 1 would be the closest to off-site trees but satisfied that the garden is of sufficient size that these off-site trees would not be under significant pressure from pruning or felling.

5.4 **Ecology: No objection**

Application submitted with an Ecology Appraisal and Phase 2 Bat Survey, satisfied that this represents the current condition of the site. No bats have been observed emerging or re-entering the building during surveys, roosting bats are therefore considered unlikely to be impacted by the proposals. Suggest an Informative.

The Ecological appraisal also provides biodiversity enhancements and this should be conditioned. Foraging and commuting bats were seen and as such any lighting should conform to best practice guidelines.

5.5 Housing: No objection

Under COM7, 5 houses would not normally trigger an affordable housing requirement but in this application the site area is 0.22ha which would generate a requirement. LPA have previously indicated that the site can take no more than 5 houses and as such this clarifies that it falls below the number of dwellings threshold set out in the Policy.

5.6 Natural England – No objection

Subject to securing the credits from Roke as set out in the LPA's Appropriate Assessment.

6.0 REPRESENTATIONS Expired 05.07.2022

6.1 Abbots Ann Parish Council: No objection

7.0 POLICY

7.1 Government Guidance

National Planning Policy Framework (NPPF)
National Planning Practice Guidance (NPPG)

7.2 Test Valley Borough Revised Local Plan (2016)(RLP)

COM2 – Settlement hierarchy
E1 – High quality design
E2 – Conserving, protecting and enhancing landscape character
E5 – Biodiversity
E7 – Water management
E8 – Pollution
LHW1 – Public Open Space
LHW4 – Amenity
T1 – Highways
T2 – Parking

7.3 Supplementary Planning Documents (SPD)

Abbots Ann Village Design Statement (2000)
TVBC Affordable Housing SPD (2020)
Infrastructure and Developer Contributions

8.0 PLANNING CONSIDERATIONS

8.1 The main planning considerations are:

- Principle of development
- Character and appearance
- Trees
- Amenity
- Highways and Parking
- Affordable Housing
- Water Management
- Pollution
- Biodiversity and Nutrient Neutrality

8.2 Principle of Development

The site is located within the Abbots Ann settlement boundary as defined by Policy COM2 of the TVBRLP. Within settlement boundaries the principle of development and redevelopment is acceptable provided it accords with other policies in the plan.

8.3 The site was occupied by two different companies a second hand car sales which no longer operates from the site and new car sales with an element of servicing and repairs. This latter business appears to still operate from the site but no longer sells new cars and instead does some vehicle repair work. Car sales are a *sui generis* use and it is considered that the site currently provides employment.

Policy LE10 states that on existing employment sites, development for an alternative use will be permitted provided that:

- a) the land is no longer required to meet the economic development needs of the area; or
- b) the current activity is causing, or could cause, significant harm to the character of the area or the amenities of residents; and
- c) it would not have a significant detrimental impact on the operation of the remaining occupiers of the site.

8.4 The supporting text to Policy LE10 states that the Council will permit other forms of development on these sites if it can be demonstrated that they are no longer required to meet the economic development needs of the area through, for example, market signals. The supporting text goes on to state that to justify this, evidence should be submitted to show that positive marketing of the site has been undertaken and proposals for the loss of these sites will need to demonstrate the benefits of the proposed use and that the local economy will not be harmed.

8.5 The application has been submitted with a Commercial Viability Report. This report details the current poor state of repair of the two buildings on site and in particular the building used by William Sawyer, this building has structural issues, leaks and has a large amount of asbestos in its construction. Due to its age and construction the building is becoming more difficult to remain and repair, the Report concludes that the building is at the end of its economic life and would not be an attractive prospect for other users. The report supports this conclusion with photographic evidence of the building failures.

8.6 The Commercial Viability Report also details the Marketing of the site which has occurred since late 2019. Goadsby have been marketing the site since September 2021 and have good local market coverage. The site was advertised on an 'All Enquiries' basis with 'price on application' which is a known strategy to encourage the maximum interest in a site. During the marketing period there was only one interest shown and this was tentative and did not progress beyond seeking marketing details.

- 8.7 The site is small and located within a residential setting, vehicle access is limited and no interest has been shown by any company in taking the site on. TVBC has an oversupply of employment land and that this site would no longer be required to meet economic needs of the area and as such complies with Policy LE10 and COM2.
- 8.8 **Character and Appearance of the Area**
Policy E1 requires development to integrate, respect and complement the character of the area whilst Policy E2 requires development to protect, conserve and enhance the landscape of the Borough. Salisbury Road is characterised by a mix of housing types, forms and layout. The majority of dwellings are detached within their own plots, but there are also examples of multiple dwellings accessed from one access point. The boundary treatments along the road are a mix of hedging, fencing or a combination of both. Many of the dwellings have mature planting within the front garden areas but again this is mixed with some dwellings having very little.
- 8.9 The site is at present devoid of any landscaping, to the rear the park home site has a backdrop of landscaping along its rear boundary and this is visible from the site, to the north and south are neighbouring residential dwellings and these have a mix of landscaping which provides good screening.
- 8.10 The proposed development of five bungalows would be located slightly further forward than other development in the area due to the restricted depth of the site. Amended plans received on the 25th May 2022 removed the proposed front boundary fence and this boundary is now a hedge with tree planting. The indicative landscape plan shows that there is space to create hedge and tree planting along the front boundary as well as maintain space for parking and manoeuvring. This proposed new landscaping would soften the site and would not be dissimilar to some of the other boundary treatments along this part of Salisbury Road. The single storey nature of the proposed built form would enable views of the verdant wooded backdrop beyond the site to be appreciated when the site is viewed from Salisbury Road.
- 8.11 It is considered that the redevelopment of the site for four bungalows would create a development where there is sufficient space for landscaping to be delivered on site to enable the proposal to integrate with the verdant landscape character of the area. Securing a scheme for the long term management and maintenance of any hard and soft landscaping in addition to a detailed landscaping and planting scheme could be secured via condition. The proposal would not result in a detrimental impact on the landscape character of the area and the proposed landscaping would enable the proposal to positively integrate into its surroundings. The proposal complies with Policy E2 a) and c) of the TVBRLP.
- 8.12 Whilst neighbouring development is two storey in nature there are examples along Salisbury Road of bungalows to the north of the application site. In addition, Kindersley Park is single storey in nature and consideration has been given during the design of the proposal to how built form would integrate within

this context. It is considered that a single storey approach to new residential development on this site is an acceptable form of development which would ensure that the dwellings, given their position forward of the building line, would not appear dominant in the street scene.

- 8.13 A mixture of red brick, clay tiles, slate roof tiles and hanging tiles are proposed to reflect the diversity of materials used in built form within the vicinity of the site. The dwellings proposed have a degree of uniformity but there are also subtle differences between designs to provide architectural interest to each property. The design and proposed materials are considered acceptable, subject to a condition in respect of samples and details of the materials to be used in the construction of all external surfaces.
- 8.14 The proposal is considered to integrate, respect and complement the character of the area in terms of its layout, appearance, scale, materials and buildings styles and makes efficient use of the land whilst respecting the character of surrounding and neighbouring uses. The redevelopment of the site as proposed would improve the character and quality of the area. The proposal thereby complies with Policy E1 of the TVBRLP.
- 8.15 **Trees**
Policy E2 requires development to ensure the health and retention of important landscape features. There are offsite trees adjacent to the northern and southern site boundaries which are mature and contribute to the landscape character of the area. An arboricultural impact assessment and method statement has been submitted with the application which demonstrates how these trees will be protected during the construction and occupation of the development. The Tree Officer is satisfied that, subject to the imposition conditions in respect of tree protection during construction, that the proposal would not result in a detrimental impact on off-site trees. The proposal therefore complies with Policy E2 of the TVBRLP.
- 8.16 **Amenity**
Policy LHW4 of the TVBRLP requires development to provide for the privacy and amenity of its occupants and those of neighbouring properties, provide private open space and not reduce levels of daylight and sunlight reaching new and existing properties to below acceptable levels. The nearest residential properties to consider are no's 15, 16, 17 and 18 at Kindersley Park, Robins to the south-west and Ferndale to the north-east.
- 8.17 Proposed properties 1 and 2 are located 11m from the rear of park homes 17 and 18. Properties 3, 4 and 5 are located 23m and 21m away from the rear of park homes 15 and 16 respectively. The back to back distances for properties 3 and 4 and park homes 15 and 16 is considered sufficient to ensure that the proposal is not overbearing to no's 15 and 16 or result in reduce levels of privacy for future occupiers or neighbours with regards to overlooking.

- 8.18 Whilst the back to back distances between properties 1 and 2 and park homes 17 and 18 is smaller, given the single storey nature of both dwellings it is considered that there will be no opportunities for overlooking. Further, the height of bungalows 1 and 2 is 5.3m and the distance of 11m is considered sufficient to not result in a feeling of overbearing within the internal and external living spaces of park homes 17 and 18.
- 8.19 The property known as Robins is set further back from Salisbury Road than proposed property 5. This property has one window at first floor which is set back from the boundary with the access road and is partially careened from number 5 by its own two storey gable which is immediately adjacent to the access road to Kindersley Park. The result of this is that the window only has a view across the western aspect of the proposed garden. The property had planning permission in 2014 and the floor plans show that this first floor window serves a bathroom. This is not considered a habitable room and would afford limited views across the site. Due to the location of the window and the use of the room it is considered that the limited view would not give rise to unacceptable overlooking of proposed dwelling number 5.
- 8.20 Proposed property 1 would be the nearest neighbour to the property known as Ferndale to the north-east of the site. The distance between the proposed property and Ferndale is approximately 12 metres. In addition, there is a mature hedgerow between these properties which has an element of evergreen species within it. The separation distance and mature hedgerow is considered sufficient to ensure that the amenity of both properties would be provided for in respect of privacy.
- 8.21 The garden sizes vary for proposed properties 1-5. Properties 1 and 2 have gardens which measure approximately 15/16m x 8m, property 3 has a garden measuring 8m x 14m, property 4 approximately 13m x 11m and property 5 a garden measuring 12m x 11m. It is considered that the garden space proposed for each of the properties is sufficient for the proposed properties and would provide for the amenity of future occupiers. Due to the layout of the Park Homes to the rear if future occupiers were to erect structures within their garden these would be in close proximity to these Park Homes, it is considered that removing Permitted Development Rights for Class E of the GPDO would allow the LPA to have some control over future additions.
- 8.22 The gardens are north westerly facing. This would mean that gardens and rooms to the rear of the properties would receive a degree of shading within the morning but receive sunshine in the afternoon. It is considered that this arrangement is acceptable and would allow for adequate amounts of daylight and sunlight to reach the garden and primary living spaces located towards the rear of the proposed properties.
- 8.23 Having regard to the height and location of the existing built form and structures on site relative to neighbouring properties and the single storey nature of the proposed dwellings it is not considered that there would be any detrimental impact on neighbouring properties in respect of loss of sunlight, daylight or shadowing from the proposal.

8.24 The proposal would provide for the privacy and amenity of its future occupants and those of neighbouring properties, would provide sufficient private outside amenity space and would not reduce levels of daylight and sunlight reaching new and existing properties or private open space to below acceptable levels. The proposal is in accordance with Policy LHW4 of the TVBRLP.

8.25 **Highways and Parking**

The proposal involves reducing the number of access points into the site from two into a single centralised access. The Highways Officer is satisfied that the proposed use would represent a significant decrease in traffic generation to that of the current/ previous land use. The Highways Officer considers this to be acceptable and are satisfied with the visibility splays as shown. The internal layout of the site is considered to be acceptable in providing access for the parking, turning and manoeuvring of vehicles in a functional and safe way as required by Policy T1. The Highways Officer has requested a condition requiring all existing redundant accesses to be permanently closed and the footway reinstated. The layout of the development is such that this is not considered to be an issue as there would be one central access point and boundary treatment to all other parts of the boundary.

8.26 The development provides a bin day collection area and it is understood that like the other developments along the road, refuse would be collected from the road. The bin day collection area is the same as that shown on the previously withdrawn application 21/01570/FULLN which the Council's Refuse and Recycling Service raised no objection to. It is considered that the proposal will not result in a detrimental impact on the function, character and safety of the highway network and that the internal layout of the site is accessible for all users. Subject to conditions, the proposal complies with Policy T1 of the TVBRLP.

8.27 Annexe G of the TVBRLP requires two and three bedroom properties to have 2 car parking spaces each. A development of five dwellings would also require 1 visitor space. 11 car parking spaces have been provided. All properties have provision for rear access which would allow bikes to be stored to the rear of the properties. The proposal is considered acceptable with regards to Policy T2 of the TVBRLP.

8.28 **Affordable Housing**

The site is within the Designated Rural Area as defined in Annex 2 of the TVBC Affordable Housing SPD (2020). Policy COM7 of the TVBRLP states:

In the designated Rural Area of a net gain of 6-9 dwellings (or sites 0.22-0.29ha) a financial contribution equivalent of up to 20% of dwellings to be affordable.

As the site is for 5 dwellings it would not trigger the requirement for affordable housing, but in this case it is within the site area equivalent threshold, with a

size of 0.22ha as stipulated in the Policy. These site thresholds are there to ensure that an applicant does not deliberately reduce the numbers of dwellings on site to avoid the need for affordable housing as the 0.22ha is of sufficient size to support 6 dwellings. The SPD however does acknowledge that these site thresholds are only relevant where the site could reasonably accommodate a higher number of dwellings than the number being proposed. This application has been through a number of iterations and what is clear that the site cannot support more than 5 dwellings without having an unacceptable effect on the character and appearance of the area as there is insufficient room to accommodate the necessary parking or provide adequate landscaping for a higher number of units than proposed.

8.29 In light of the limitations of the site and the form of the proposal the Housing Officer is satisfied that no affordable housing is required at this site and as such the application accords with Policy COM7 of the TVBRLP.

8.30 **Water Management**

The site is in Flood Zone 1 and as such a flood risk assessment is not required. The site is also not within a ground water protection zone. The redevelopment of the site will result in a significant reduction in hardstanding within the site and the creation of landscaped areas which will improve water management and drainage within the site. Policy E7 of the TVBRLP requires that all new homes achieve a water consumption standards of no more than 110 litres per person per day and this can be secured via condition. The proposal complies with Policy E7 of the TVBRLP.

8.31 **Pollution**

The new dwellings are proposed to be located adjacent to Salisbury Road and forward of the residential building line. On the previously Withdrawn application (21/01570/FULLN) the Environmental Protection Officer (EPO) raised that there is potential for significant traffic noise from this road on the internal living rooms on the principal facade without noise mitigation measures. The EPO advised that this will not be a constraint on the proposed development provided adequate sound insulation is incorporated into the design of the properties to protect the amenity of future occupants and that this can be secured via condition. Additional conditions in respect of construction hours and contamination have also been recommended. Subject to these conditions, the proposal would not result in pollution which would cause unacceptable risks to human health or general amenity as required by Policy E8 of the TVBRLP.

8.32 **Ecology**

Policy E5 of the TVBRLP seeks to ensure that development does not adversely affect biodiversity. Policy E5 also states that development that is likely to result in a significant effect, either alone or in combination, on an international or European nature conservation designation will need to satisfy the requirements of sections 61 and 62 of the Conservation of Habitats and Species Regulations 2010 (as amended).

- 8.33 The application was supported by a Preliminary Ecological Appraisal and a Phase 2 Bat Survey and the Ecologist is satisfied that the survey represents the current condition of the site. No bats were observed emerging or re-entering the building during these surveys and roosting bats were therefore considered unlikely to be impacted by the proposals. The Ecologist has suggested conditions to cover lighting and an informative on Bats.
- 8.34 The Ecological Appraisal suggests biodiversity enhancements across the site and the Ecologist has recommended that this is secured by condition.
- 8.35 In June 2019 Natural England published guidance which required all new developments providing overnight accommodation to demonstrate nutrient neutrality. This guidance was updated in March 2022. The guidance stated that there is evidence that high levels of nitrates from new housing development that results in waste water entering The Solent is contributing towards eutrophication of internationally legally protected sites in the Solent and resulting in a detrimental impact upon the conservation interest of these sites.
- 8.36 Advice from Natural England is that the applicants for development proposals resulting in a net increase in dwellings are required to submit a nitrogen budget for the development to demonstrate that there will be no likely significant effect on these internationally designated sites. The requirement to demonstrate no likely significant effect is outlined within Regulation 63 of the Conservation of Habitats and Species Regulations (2017).
- 8.37 To identify the amount of nitrate loading generated by the proposed development, a nutrient budget calculation has been undertaken in accordance with Natural England's standard methodology and calculator spreadsheet. The calculation identifies that the proposed development will generate 18.63kg/TN/yr.
- 8.38 To address this issue, Test Valley Borough Council has implemented a strategic nitrate offsetting mitigation scheme whereby a scale of developer contributions has been agreed that would fund its ongoing delivery of a nitrate offsetting scheme. This strategic scheme comprises the offsetting of agricultural land previously utilised for the purposes of pig farming, located at Roke, Awbridge.
- 8.39 An appropriate assessment has been carried out and this has been reviewed by Natural England. It is concluded that the development can achieve nutrient neutrality by offsetting the increase in the nitrogen load and this would need to be secured through a S106 which is currently in progress. The development would therefore not result in an adverse effect on the integrity of the Solent designated sites through water quality from nitrate impacts and would accord with Policy E5 of the TVBRLP.
- 9.0 **CONCLUSION**
- 9.1 The proposed development is considered acceptable in principle and is also acceptable in terms of character and appearance, trees, amenity, highways and parking, affordable housing, water management, pollution and biodiversity.

10.0 RECOMMENDATION

Delegate to the Head of Planning and Building that subject to the completion of a satisfactory legal agreement to secure mitigation land to offset the nitrogen load of the development, then PERMISSION subject to:

- 1. The development hereby permitted shall be begun within three years from the date of this permission.
Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.**
- 2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 9377/501; 9377/502; 9377;503; 9377/504; 9377/506; 9377/500A.
Reason: For the avoidance of doubt and in the interests of proper planning.**
- 3. The development hereby approved shall be undertaken in full accordance with the provisions set out within the Barrell Treecare Arboricultural Impact Appraisal and Method Statement reference 20239-AA2-DC dated 23rd March 2022 and its associated tree protection plan.
Reason: To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with Test Valley Borough Revised Local Plan policy E2.**
- 4. No development shall take place above DPC level of the development hereby permitted until samples and details of the materials to be used in the construction of all external surfaces hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.
Reason: To ensure the development has a satisfactory external appearance in the interest of visual amenities in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1.**
- 5. Before the development hereby permitted is commenced details, including plans and cross sections, shall be submitted to and approved by the Local Planning Authority of the existing and proposed ground levels of the development and the boundaries of the site and the height of the ground floor slab and damp proof course in relation thereto. Development shall be undertaken in accordance with the approved details.
Reason: To ensure satisfactory relationship between the new development and the adjacent buildings, amenity areas and trees in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1.**
- 6. Prior to construction of the proposed residential development, a scheme for insulating the occupants against road traffic noise shall be submitted for approval by the Local Planning Authority. The scheme shall include an environmental noise survey and the necessary mitigation (including mechanical ventilation in**

circumstances where the following standards will not be met with windows open) to demonstrate that the following is achieved:

	07:00 to 23:00	23:00 to 07:00
Bedrooms	35 dB LAeq, 16 hour	30 dB LAeq, 8 hour
	45 dB LAmax,F exceeded not more than 10 times a night	
External amenity areas	50 dB LAeq, 16 hour	

The approved scheme shall be implemented prior to first occupation of the proposed development and shall thereafter be retained.

Reason: In the interest of the amenities of occupiers in accordance with Test Valley Borough Revised Local Plan (2016) Policy E8.

- 7. No development shall take place (other than any approved demolition and site clearance works) until an assessment of the nature and extent of any contamination and a scheme for remediating the contamination has been submitted to an approved in writing by the Local Planning Authority. The assessment must be undertaken by a competent person and shall assess the presence of any contamination on the site, whether or not it originates on the site. In accordance with the Ground and Water Ltd Phase 1 Desk Study report dated October 2020 which accompanied the planning application, the assessment shall comprise a site investigation in accordance with the recommendations of that report. In the event that contamination is found or is considered likely the scheme shall contain remediation proposal designed to bring the site to a condition suitable for the intended use. Such remediation proposals shall include clear remediation objectives and criteria, an appraisal of the remediation options and the arrangements for the supervision of remediation works by a competent person. Should additional (i.e. previously unidentified) contamination be found during development works after the remediation scheme has been agreed and which was no anticipated as part of the approved remediation scheme with suitable remediation arrangements in place, then additional remediation proposals shall be submitted to and approved in writing by the Local Planning Authority. The site shall not be brought into use until a verification report for the purpose of certifying adherence to the approved remediation scheme and documenting how any previously unidentified contamination has been dealt with has been submitted to an approved in writing by the Local Planning Authority.**

Reason: To ensure a safe living/working environment in accordance with Policy E8 of the Test Valley Borough Revised Local Plan.

- 8. Tree protective measures installed (in accordance with the tree protection condition) shall be maintained and retained for the full duration of works or until such time as agreed in writing with the Local Planning Authority. No activities, nor material storage, nor placement of site huts or other equipment what-so-ever shall take place within the barrier.**

Reason: To ensure the avoidance of damage to existing trees and natural features during the construction phase in accordance with Test Valley Borough Revised Local Plan policy E2.

- 9. Prior to commencement, a detailed scheme of biodiversity enhancements to be incorporated into the development shall be submitted to and approved in writing by the Local Planning Authority. These measures should be in accordance with section 5.0 'Requirements and Recommendations' in the William Sawyers Subaru & Pinchbecks Garages, Old Salisbury Road, Little Ann, Preliminary Ecological Appraisal and Phase 2 Bat Survey (Peach Ecology, July 2021). Development shall subsequently proceed in accordance with any such approved details, with photographic evidence provided to the Local Planning Authority within 6 months of occupation.**

Reason: To enhance biodiversity in accordance with NPPF and the Natural Environment and Rural Communities Act 2006 and with Policy E5 of the Test Valley Revised Local Plan DPD 2011-2029.

- 10. Prior to commencement on site a scheme shall be submitted to and approved in writing by the Local Planning Authority detailing the method of cleaning wheels and chassis of all HGV's, plant and delivery vehicles leaving the site and the means of keeping the site access road and adjacent public highway clear of mud and debris during site demolition, excavation and construction. The scheme shall be implemented in accordance with the approved details and shall be installed and operational before any development commences and retained in working order throughout the duration of the development. No vehicles shall leave the site in a condition whereby, mud clay or other deleterious materials shall be deposited on the public highway.**

Reason: In the interests of highway safety and to accord with Policy T1 of the Test valley Borough Revised Local Plan 2016.

- 11. All service routes, drain runs, soakaways or excavations in connection with the development hereby permitted shall remain wholly outside the tree protective barrier.**

Reason: To ensure the avoidance of damage to existing trees and natural features during the construction phase in accordance with Test Valley Borough Revised Local Plan policy E2.

- 12. No development shall take place (including any works of demolition) until a Construction Method Statement has been submitted to and approved in writing by the LPA. The approved statement shall include scaled drawings illustrating the provision for:-**

- The parking of site operatives and visitor vehicles**
- Loading and unloading of plant and materials**
- Management of construction traffic and access routes**
- Storage of plant and materials used in constructing the development**
- Vehicle tracking in regard to points above.**

Reason: In the interests of highway safety and to accord with Policy T1 of the Test valley Borough Revised Local Plan 2016.

- 13. The development shall not be brought into use until vehicular visibility splays as indicated on drawing number 9377/500 Rev B in which there should be no obstruction to visibility exceeding 1 metre in height above the adjacent carriageway channel line have been completed. Such visibility splays shall thereafter be retained for the lifetime of the development.**
Reason: In the interests of highway safety and to accord with Policy T1 of the Test valley Borough Revised Local Plan 2016.
- 14. The development shall not be occupied until space has been laid out and provided for the parking and manoeuvring of vehicles to enable them to enter and leave the site in a forward gear in accordance with the approved plan and this space shall thereafter be reserved for such purposes at all times.**
Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1
- 15. No development shall take place above DPC level of the development hereby permitted until full details of hard and soft landscape works have been submitted and approved. Details shall include;**
- means of enclosure**
 - planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities.**
- The landscape works shall be carried out in accordance with the implementation programme and in accordance with the management plan.**
Reason: To improve the appearance of the site and enhance the character of the development in the interest of visual amenity and contribute to the character of the local area in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1 and E2.
- 16. No development shall take place above DPC level of the development hereby permitted until a schedule of landscape management and maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The landscape management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscape areas and an implementation programme, shall be submitted to and approved in writing by the Local Planning Authority. The approved management plan shall be carried out in accordance with the implementation programme.**
Reason: To ensure the provision of amenity afforded by proper maintenance of existing and new landscape features as an improvement of the appearance of the site and to enhance the character of the development in the interest of visual amenity and contribute to the character of the local area in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1 and E2.

- 17. External lighting will follow best practice guidelines outlined by the Bat Conservation Trust and the Institute of Lighting Professionals (Guidance note 08/18 Bats and artificial lighting in the UK). Prior to commencement, a detailed lighting strategy for the construction and operation phase of the development shall be submitted to and approved in writing by the Local Planning Authority. Development shall subsequently proceed in accordance with any such approved details, with the approved lighting strategy maintained in perpetuity. Reason: To prevent disturbance to protected species in accordance with the National Planning Policy Framework and Policy E5 of the Revised Test Valley Revised Local Plan.**
- 18. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order amending, revoking or re-enacting that Order), no building or structure, shall be erected without the prior written consent of the Local Planning Authority. Reason: In order that the Local Planning Authority can exercise control in the locality in the interest of the local amenities in accordance with Test Valley Borough Revised Local Plan (2016) Policy.**

Notes to applicant:

- 1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
 - 2. Bats and their roosts receive strict legal protection under the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017. All work must stop immediately if bats, or evidence of bat presence (e.g. droppings, bat carcasses or insect remains), are encountered at any point during this development. Should this occur, further advice should be sought from Natural England and/or a professional ecologist.**
-



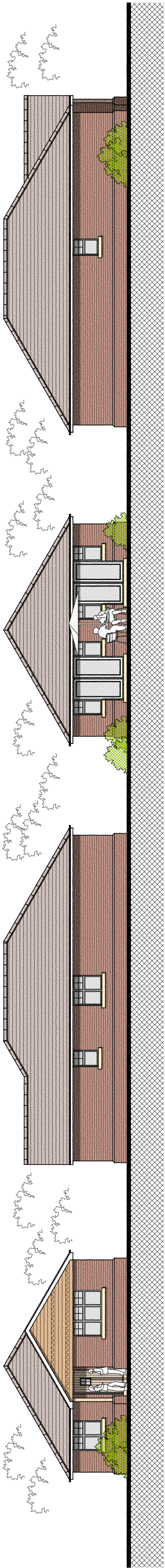
Siteplan



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22/00833/FULLN

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- 4. Do not scale. Extern dimensions only to be used.
- 5. Contractor must verify all dimensions and report any discrepancies before putting work in hand or before commencing work.
- 6. All work to be fixed with a metal safe system to satisfy CHM 2015 regulations unless written otherwise.
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- 20. All work to be fixed with a metal safe system to satisfy CHM 2015 regulations unless written otherwise.



SOUTH EAST ELEVATION
1:100

NORTH EAST ELEVATION
1:100

NORTH WEST ELEVATION
1:100

SOUTH WEST ELEVATION
1:100

MATERIALS SCHEDULE:

EXTERNAL WALLS: RED BRICK / TIE HANGING

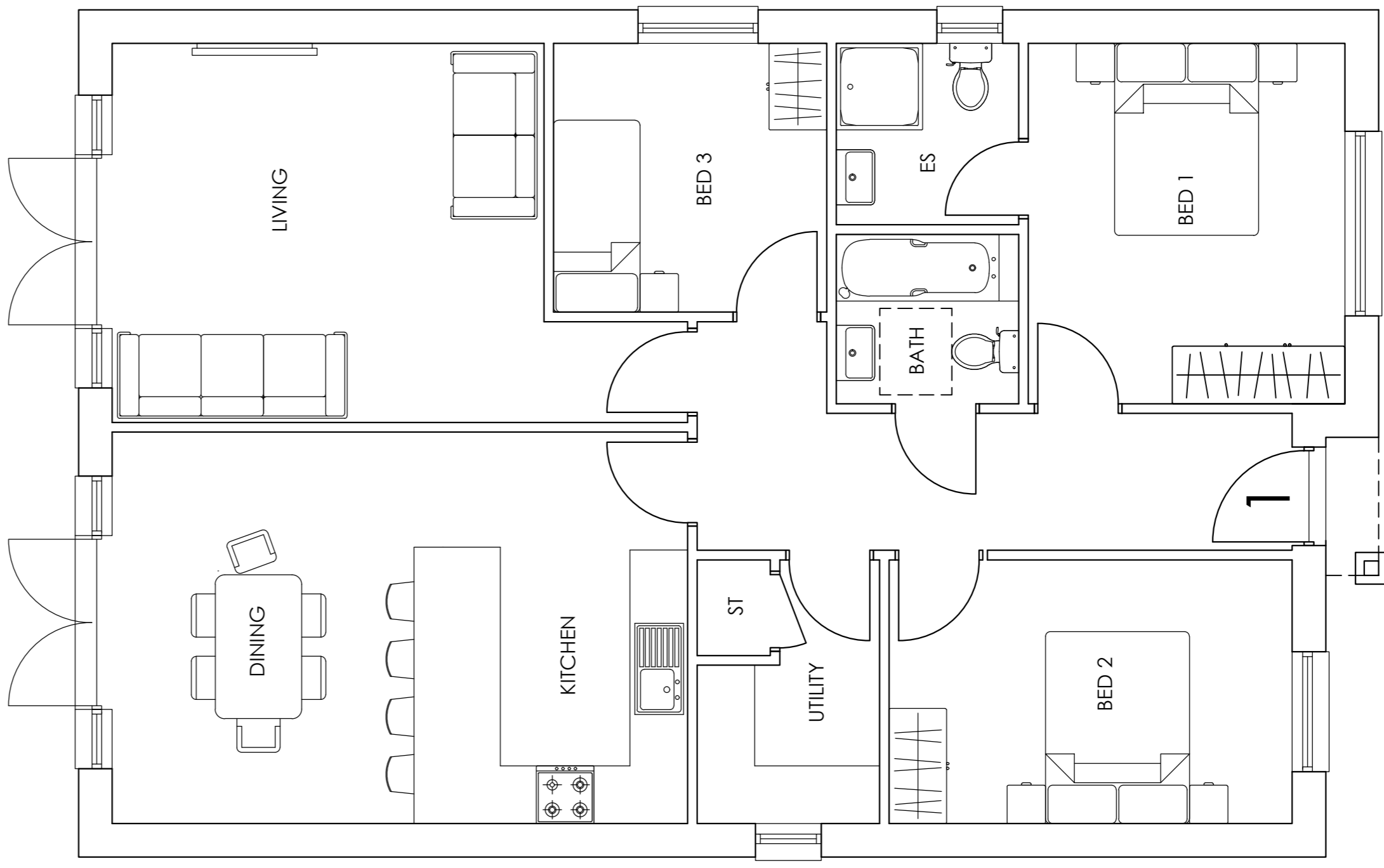
WINDOWS & DOORS: JHC

ROOF: CLAY EFFECT TILES

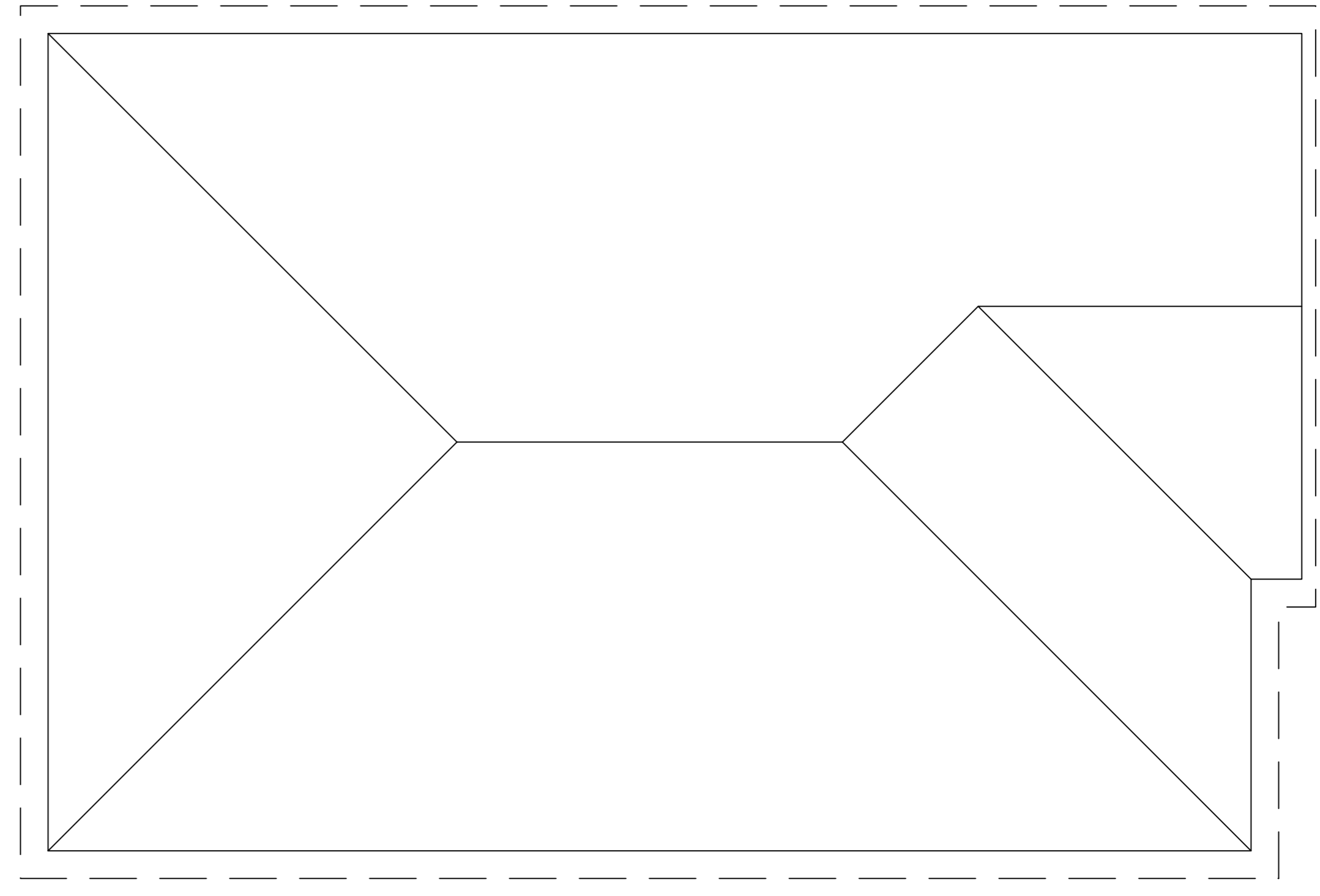
Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should be agreed with specialist. (Firing system behind cladding should also be non-combustible A1 or A2 rated and agreed with fire consultant)

Note: Any design or details relating to Fire Safety, including under Part 8 of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

Test Valley Borough Council - Northern Area Planning Committee - 14 July 2022



GROUND FLOOR PLAN
1:50



ROOF PLAN
1:50

PLOT 1 - 3 BEDROOM BUNGALOW @ 102 SQ.M / 1097 SQ.FT

No.	Revision.	date	by

PROPOSED DEVELOPMENT,
WILLIAMS GARAGE,
SALISBURY ROAD,
ANDOVER,
SP11 7NS.

PLANS & ELEVATIONS
PLOT 1

scale	AS SHOWN @ A1	checked	
date	MARCH 2022	drawn	GR

9377/501

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP
Tel: +44 (0)1202 4779919
E-mail: enquiries@andersrobertscheer.co.uk
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- 1. The content of this document is copyright.
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- 3. Do not scale. Figures and dimensions only to be used.
- 4. Contractor must verify all dimensions and report any discrepancies before putting work in hand or before commencing work.
- 5. All work to be fixed with a metal fastener to comply with BS 5400: Part 5: 2013 regulations unless written otherwise.
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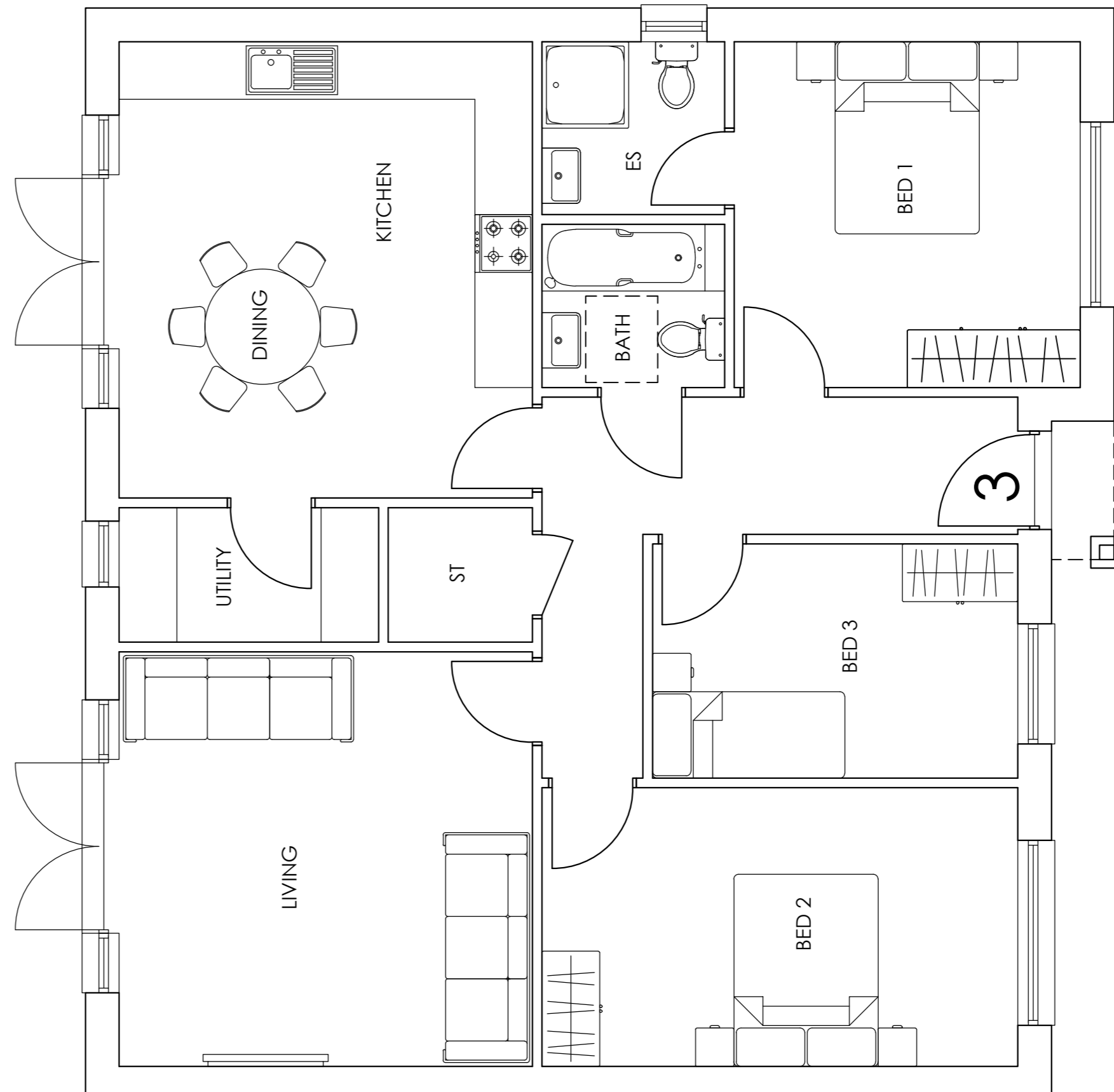
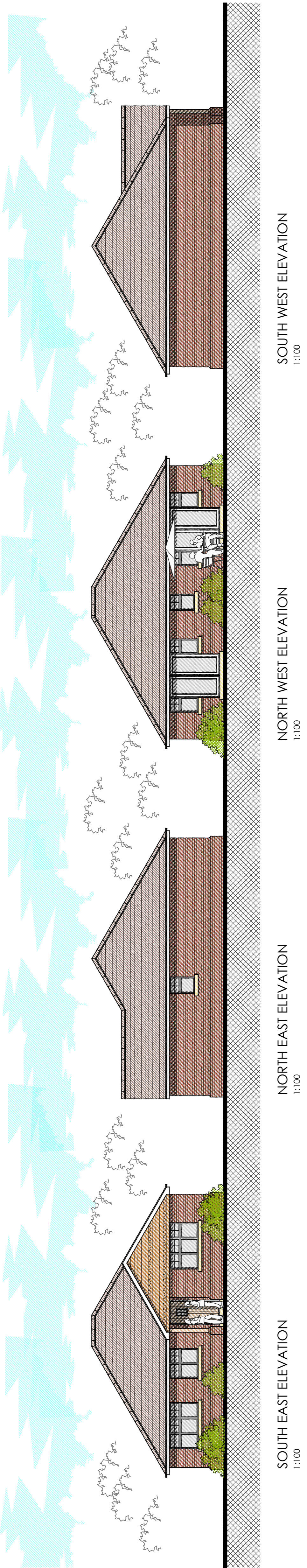
MATERIALS SCHEDULE:

EXTERNAL WALLS: RED BRICK / TIE HANGING

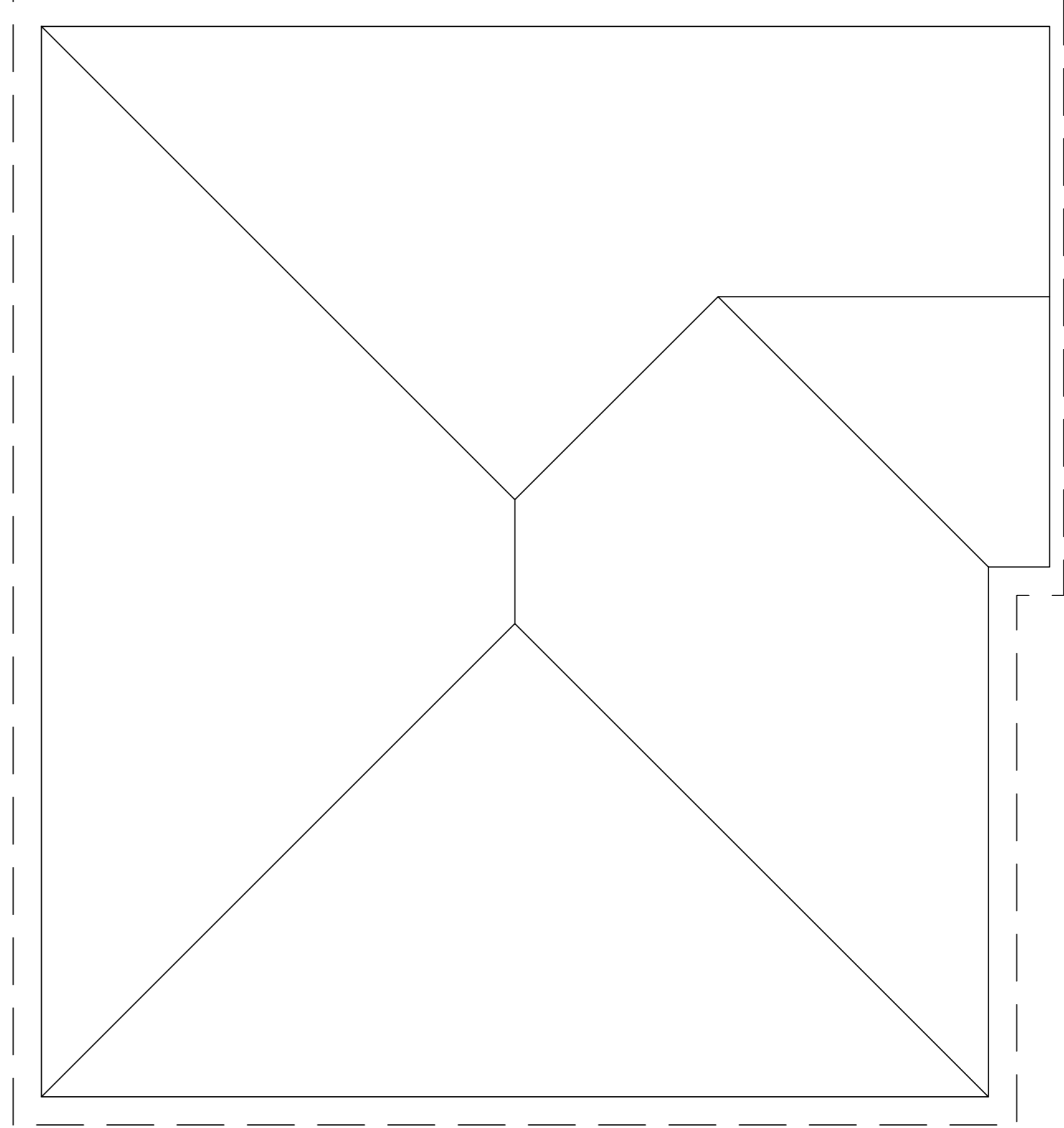
WINDOWS & DOORS: JHC

ROOF: CLAY EFFECT TILES

Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should be agreed with specialist. (Firing system behind cladding should also be non-combustible A1 or A2 rated and agreed with fire consultant)



GROUND FLOOR PLAN
1:50



ROOF PLAN
1:50

Test Valley Borough Council - Northern Area Planning Committee - 14 July 2022

PLOT 3 - 3 BEDROOM BUNGALOW @ 102 SQ.M / 1097 SQ.FT

No.	Revision.	date	by

PROPOSED DEVELOPMENT,
WILLIAMS GARAGE,
SALISBURY ROAD,
ANDOVER,
SP11 7NS.

PLANS & ELEVATIONS
PLOT 3

scale	AS SHOWN @ A1	checked	
date	MARCH 2022	drawn	GR

9377/503

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ITEM 10

APPLICATION NO.	22/01147/FULLN
APPLICATION TYPE	FULL APPLICATION - NORTH
REGISTERED	26.04.2022
APPLICANT	Mr Allan Shipway
SITE	Land North East of Homelea, Andover Road, ABBOTTS ANN / MONXTON
PROPOSAL	Erection of a general purpose agricultural building to replace two existing end of life buildings
AMENDMENTS	
CASE OFFICER	Lucy Bensaid

Background paper (Local Government Act 1972 Section 100D)

[Click her to view application](#)

1.0 INTRODUCTION

- 1.1 The application is presented to Northern Area Planning Committee due to staff interest.

2.0 SITE LOCATION AND DESCRIPTION

- 2.1 Land North East of Homelea is a small holding located within the village of Monxton along Andover Road, Red Post Bridge. The site is 2.8 hectares in size and contains 9 agricultural buildings on site including a paddock. The site is a working farm with the rearing of calves, beef production, agricultural contracting and a livery. Mature hedging screens the site from Andover Road to the east and west of the site.

3.0 THE PROPOSAL

- 3.1 The proposal seeks permission for the installation of a new agricultural barn measuring 296 square metres to replace two agricultural barns measuring a total of 99 square metres on the site which have come to the end of their viable life. The proposed barn would be used for improved accommodation for calves, a workshop and as under cover storage for farm vehicles such as tractors.
- 3.2 The proposed barn would measure 24.3 metres in width, 12.2 metres in depth and 5.9 metres in height. It would be located in the centre of the site close to other existing buildings within the farm complex. The barn would incorporate pre-cast concrete for the lower wall and wooden Yorkshire boarding for the upper walls with green cladding and a natural grey fibre cement roof.
- 3.3 It should be noted that one of the barns was damaged in a storm prior to the submission of the application and as a result is no longer present on the site.

4.0 HISTORY

- 4.1 None relevant.

5.0 **CONSULTATIONS**

5.1 **Ecology** – No objection

No reasonable likelihood that bats would be present and affected and raise no specific concerns over the removal of this. Therefore the application does not require an ecological survey to be submitted.

6.0 **REPRESENTATIONS** Expired 20.05.2022

6.1 **Monxton Parish Council:** No objection.

6.2 **Abbotts Ann Parish Council:** No objection

7.0 **POLICY**

7.1 Government Guidance

National Planning Policy Framework (NPPF)

National Planning Practice Guidance (NPPG)

7.2 Test Valley Borough Revised Local Plan (2016)(TVBRLP)

Policy SD1 – Presumption in Favour of Sustainable Development

Policy COM2 – Settlement Hierarchy

Policy E1- High Quality Development in the Borough

Policy E5 - Biodiversity

7.3 Supplementary Planning Document

Monxton Village Design Statement 2004

8.0 **PLANNING CONSIDERATIONS**

8.1 The main planning considerations are:

- Principle of development
- Impact on the character and appearance of the area
- Impact on ecology

8.2 **Principle of development**

The site lies within the countryside as defined on the Inset Maps of the TVBRLP. In accordance with Policy COM2 of the TVBRLP development is permissible outside of the settlement boundary provided that it is essential for the proposal to be located in the countryside. The proposed agricultural barn is essential in this location to serve a working farm. The size of the building is considered reasonably necessary for its purpose of calve rearing and equipment storage and the function is what is reasonably required for agricultural operations and therefore is compliant with COM2 of the TVBRLP.

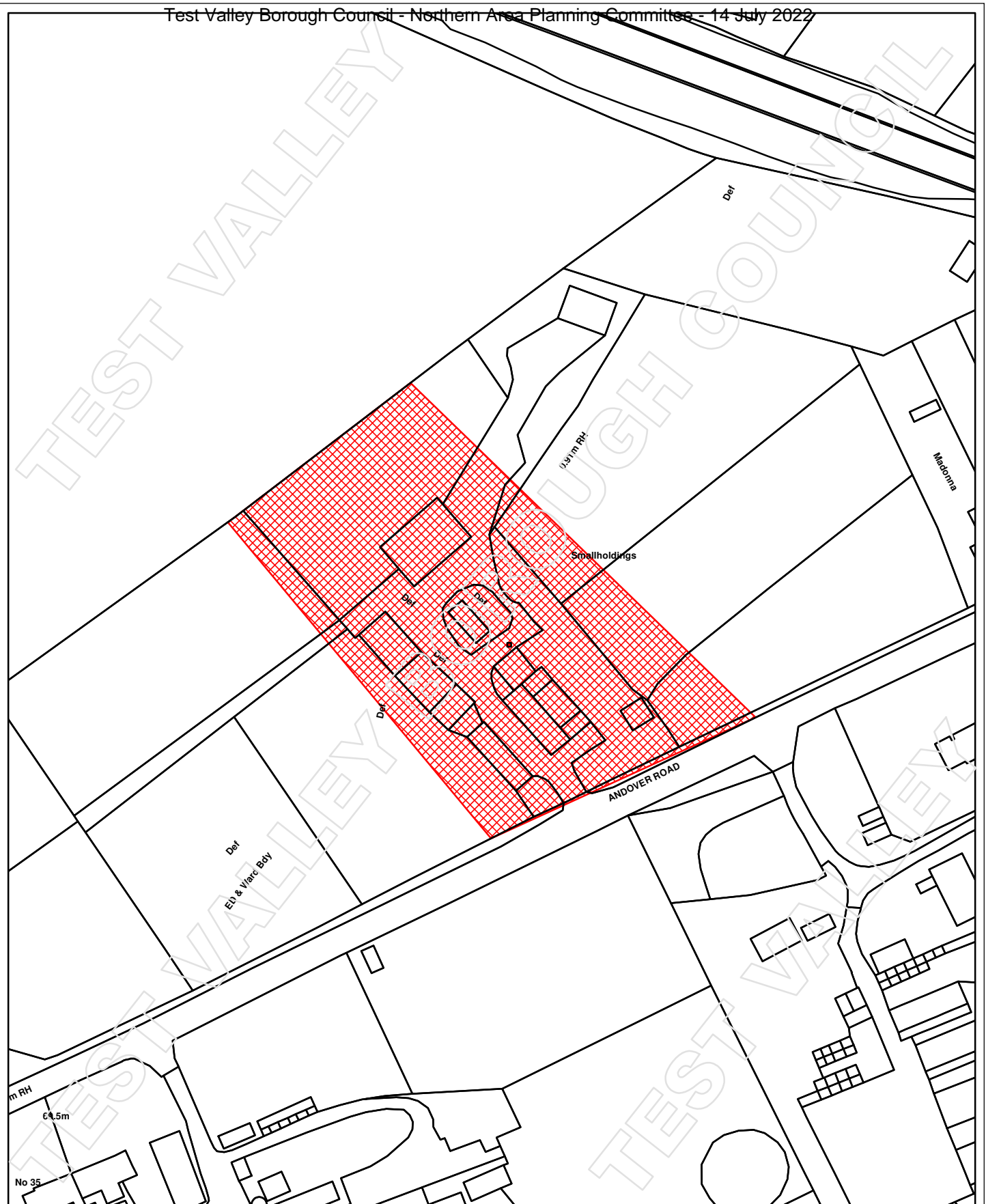
8.3 **Character of the area**

The character of the area comprises of working agricultural fields and open countryside. The proposed barn would retain the character of the area through its proximity to other agricultural structures on the site and its built form through the use of green cladding and boarding materials which are commonly seen within working farms in this part of the Borough.

- 8.4 The proposal would be located 50 metres from the public highway to the South and 245 metres away from the public footpath to the North West. As a result of hedgerow boundary treatment and mature planting public views from the South would be limited. The structure would be visible from the West of Andover Road due to reduced screening however this would be seen in the context of other buildings within the farm.
- 8.5 The proposed development whilst a large agricultural barn is typical of modern agricultural buildings in scale and design. As a result the proposed development would be in keeping with the character with its agricultural surroundings. Therefore the proposal is compliant with Policy E1 of the TVBRLP.
- 8.6 **Impact on ecology**
Policy E5 of the RLP seeks to ensure that biodiversity is conserved, and where possible restored and enhanced.
- 8.7 Following submission of evidence of the interior of the existing barn, due to the single skin structure the Council's Ecologist is satisfied that this structure would not be suitable to support protected species i.e. bats. Therefore, the proposal is compliant with Policy E5 of the TVBRLP.
- 8.8 **Other Matters.**
Due to the significant distance of the building between the neighbouring property of a minimum of 91 metres away the proposal does not impact the amenity of the neighbouring properties and is considered to be in compliance and policy LHW4 of the TVBRLP
- 8.9 The proposal would not result in any changes to the parking arrangements within the site and therefore is compliant with policy T2 of the TVBRLP.
- 9.0 **CONCLUSION**
- 9.1 The proposal is considered acceptable and in accordance with the policies E1, LHW4, E5 and T2 of the TVBRLP.
- 10.0 **RECOMMENDATION**
PERMISSION subject to:
- 1. The development hereby permitted shall be begun within three years from the date of this permission.
Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.**
 - 2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers
Block Plan received 26.04.2022
Proposed Floor plan received 26.04.2022
Proposed elevations received 26.04.2022
Reason: For the avoidance of doubt and in the interests of proper planning.**

Notes to Applicant:

- 1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
 - 2. Bats and their roosts receive strict legal protection under the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2010 (as amended). All work must stop immediately if bats, or evidence of bat presence (e.g. droppings, bat carcasses or insect remains), are encountered at any point during this development. Should this occur, further advice should be sought from Natural England and/or a professional ecologist.**
-



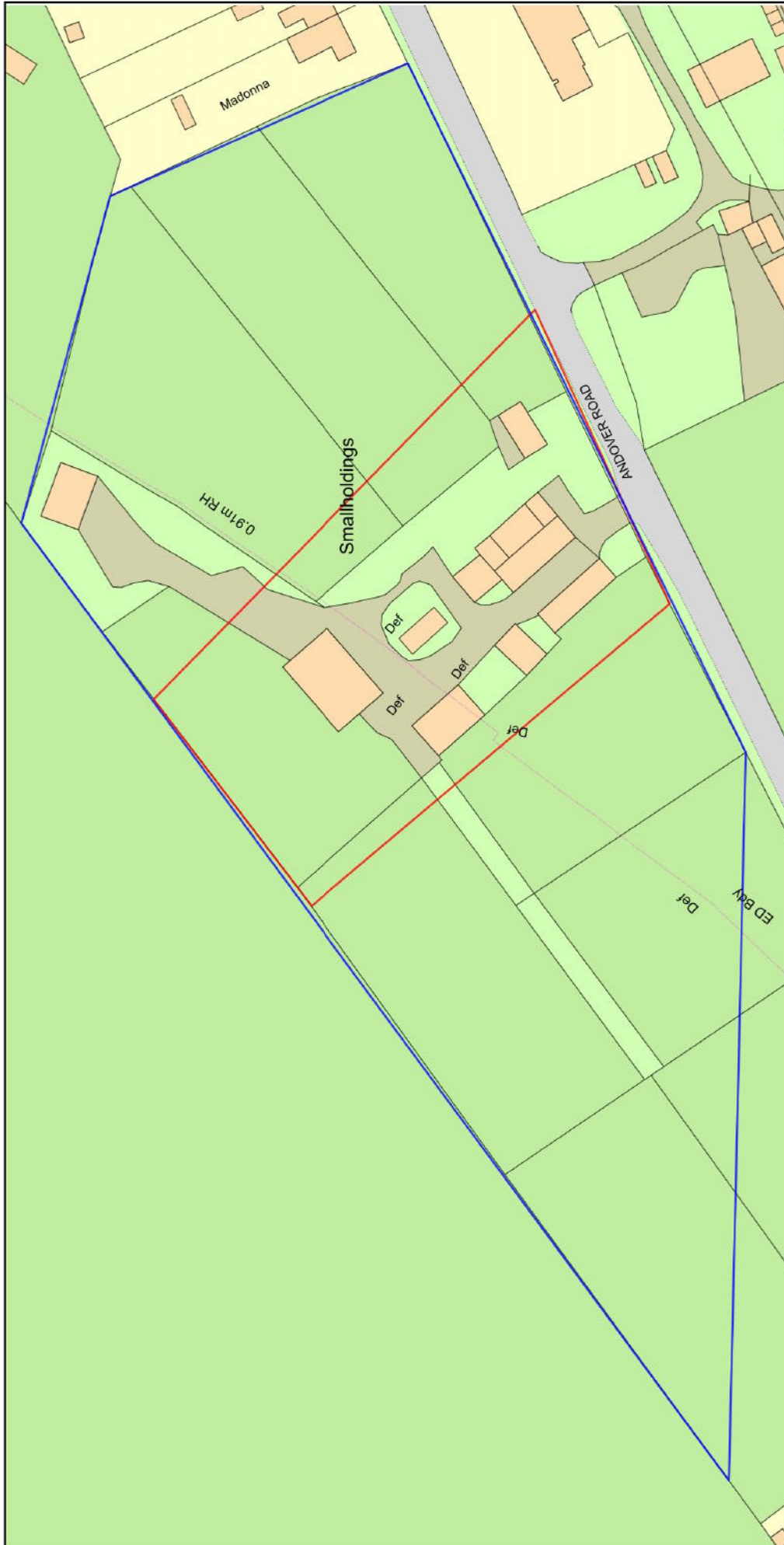
Siteplan



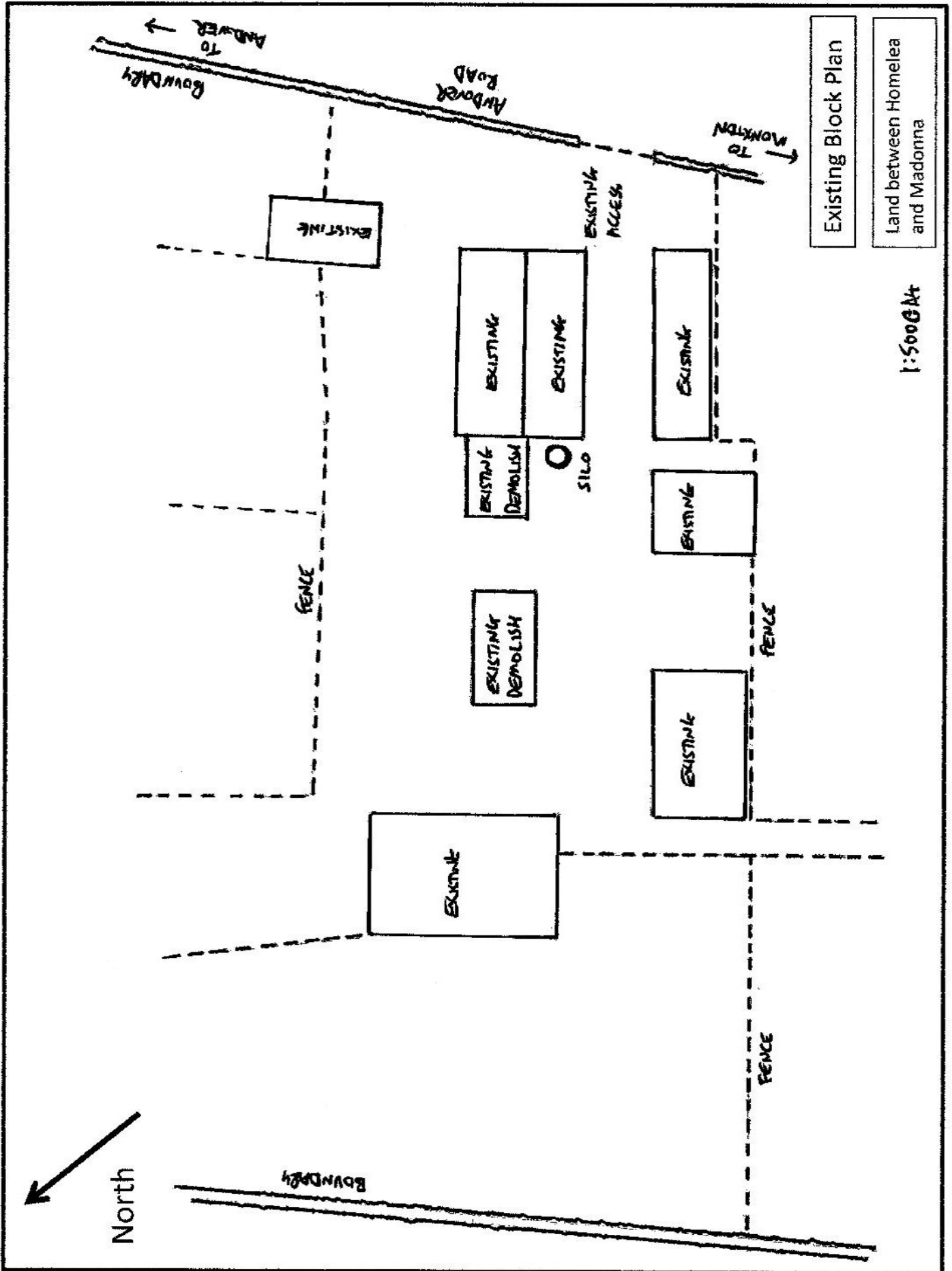
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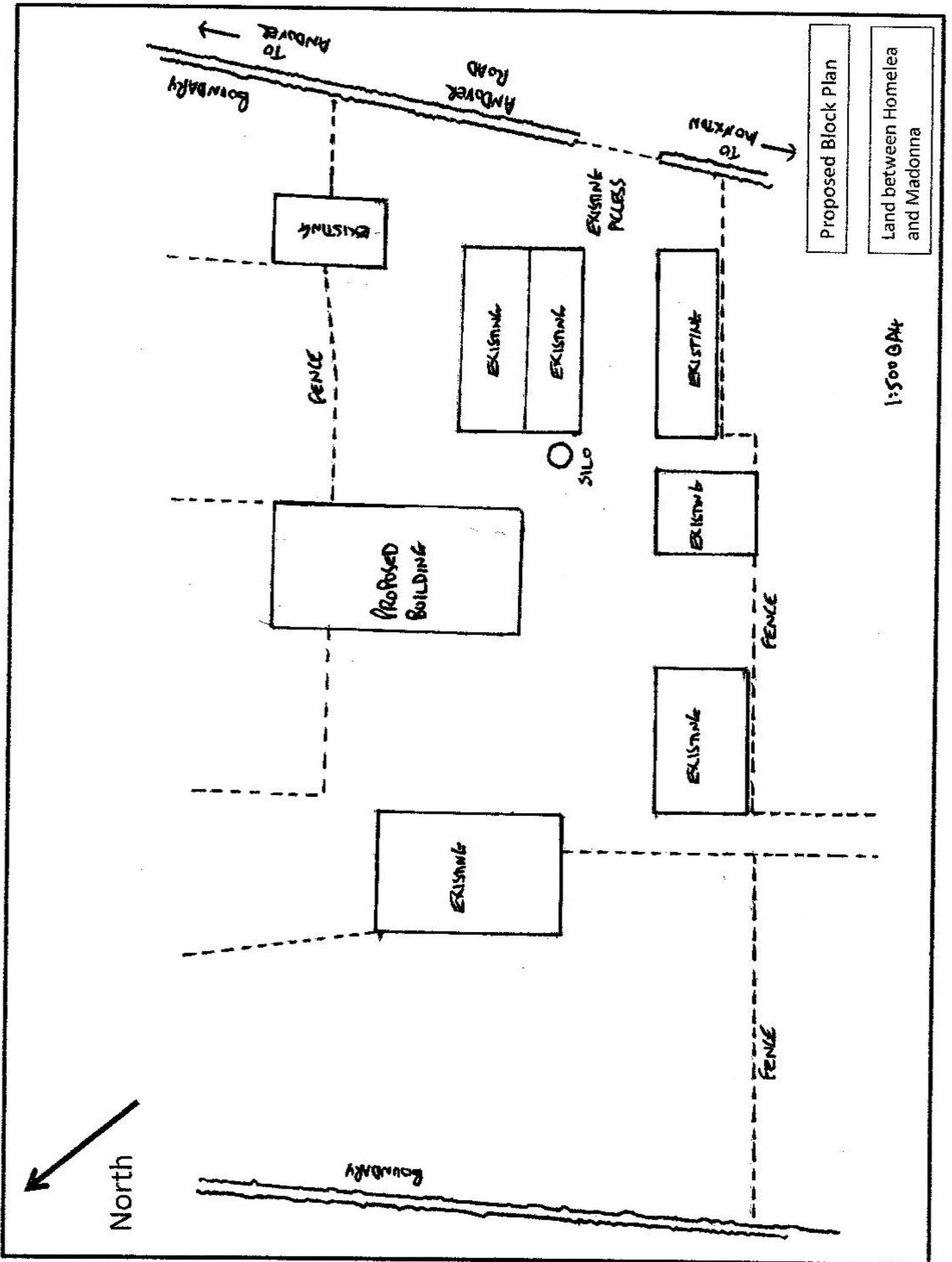
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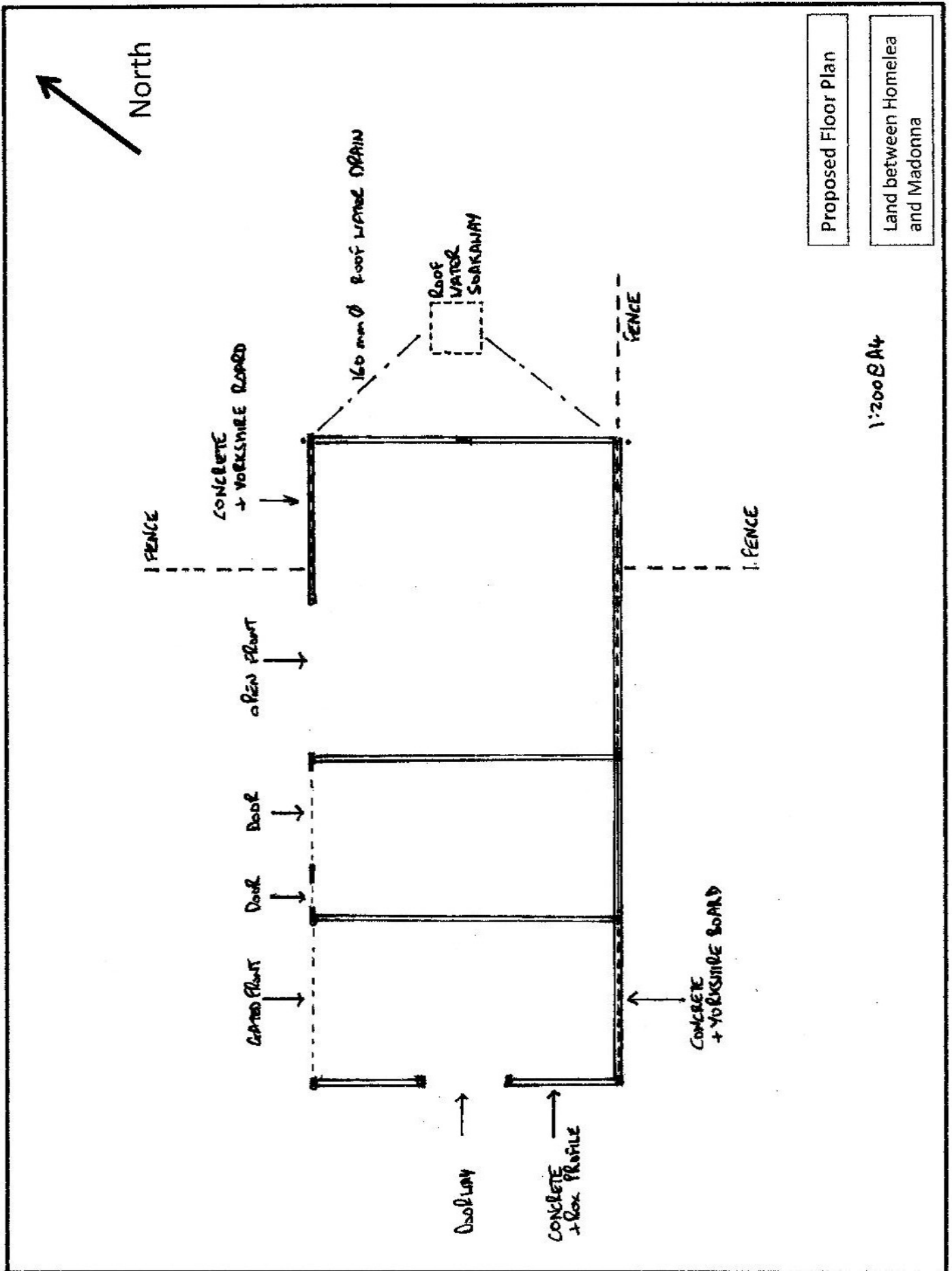
Land between Homelea and Madonna



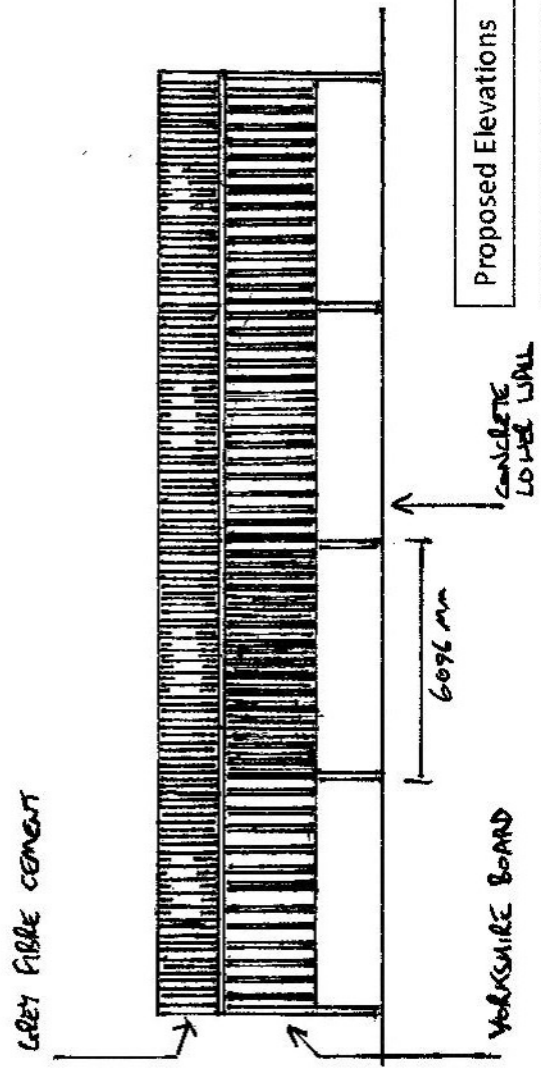
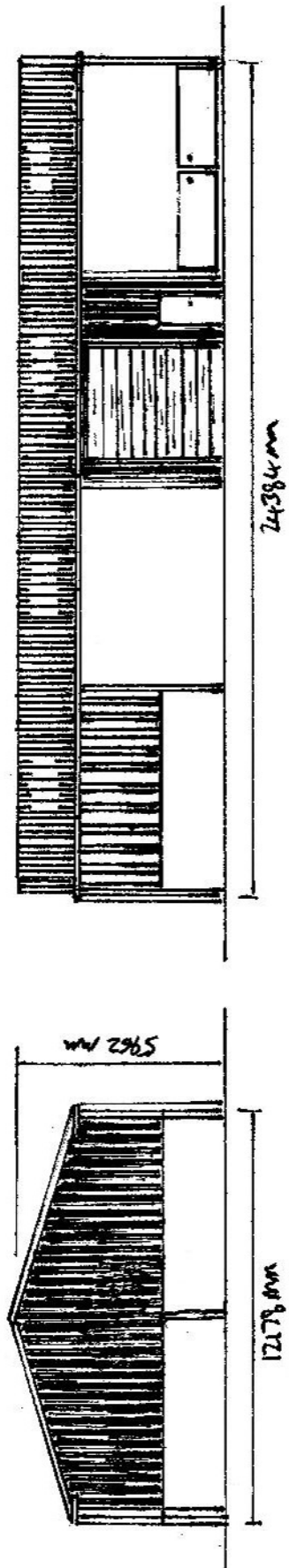
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Date Produced: 25 Apr 2022
Plan Reference Number: TOROM22115143904759
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STEEL PORTAL FRAME CONSTRUCTION



Proposed Elevations
Land between Homelea
and Madonna

